

- LEGEND:**
- A - Arc Length
 - ASPH - Asphalt
 - B - Chord Bearing
 - C - Chord Length
 - CB - Catch Basin
 - C.C. - Curb Cut
 - CI - Curb Inlet
 - C&G - Curb & Gutter
 - C/O - Clean Out
 - CONC - Concrete
 - DB - Deed Book
 - EB - Electric Box
 - ECM - Existing Concrete Monument
 - EM - Electric Meter
 - EIP - Existing Iron Pipe
 - EIR - Existing Iron Rod
 - EN - Existing Nail
 - ESMT - Easement
 - FH - Fire Hydrant
 - G - Gutter
 - GI - Grate Inlet
 - GM - Gas Meter
 - GP - Gate Post
 - GV - Gas Valve
 - GW - Guy Wire
 - L - Arc Length
 - LP - Light Pole
 - LPT - Light Pole w/Transformer
 - PIW - Parcel Identification Number
 - PB - Plat Book
 - PG - Page
 - R - Radius
 - PVC - Plastic Pipe
 - ROW - Right-Of-Way
 - RCP - Reinforced Concrete Pipe
 - SMH - Storm Drain Manhole
 - SSMH - Sanitary Sewer Manhole
 - (T) - Total
 - TB - Telephone Box
 - TC - Top Of Curb
 - TCB - Traffic Control Box
 - TERR - Terracotta Pipe
 - TMH - Telephone Manhole
 - UB - Utility Box
 - UP - Utility Pole (Power)
 - UPL - Utility Pole w/light
 - UPT - Utility Pole w/transformer
 - WB - Water Box
 - WM - Water Meter
 - WV - Water Valve
- LINE LEGEND:**
- Easement
 - Fence
 - Guard Rail
 - Property Line
 - Property Line (not surveyed)
 - Right-Of-Way
 - Right-Of-Way (not surveyed)
 - Setback
 - Cable tv Line
 - Fiber Optic Line
 - Gas Line
 - Power Line
 - Power Line (underground)
 - Sanitary Sewer Pipe
 - Storm Drain Pipe
 - Storm Drain Pipe >12"
 - Telephone Line
 - Telephone Line (underground)
 - Water Line
 - Wood Fence
- SYMBOL LEGEND**
- Area Inlet
 - Benchmark
 - Fire Hydrant
 - Guy Wire
 - Left Turn Arrow
 - Light Pole
 - Mailbox
 - Manhole Cover
 - Monument
 - Pedestal
 - Property Corner Found
 - Property Corner Set
 - Right Turn Arrow
 - Sign
 - Spot Elevation
 - Spot Light
 - Straight Arrow
 - Traffic Signal Box
 - Traffic Signal Pole
 - Tree
 - Utility Meter
 - Utility Pole
 - Valve

FLOOD CERTIFICATION:
This is to certify that the subject property is Not located in a special flood hazard area as shown on maps prepared by the federal emergency management agency, federal insurance administration, dated March 2, 2009.
Community Panel NO: 370310 4580 J; ZONE "X"

SURVEYED AND MAPPED BY:
R.B. PHARR & ASSOCIATES, P.A.
SURVEYING & MAPPING
LICENSE NO. S-1471
420 HAWTHORNE LANE
CHARLOTTE, N.C. 28254
TEL: (704) 376-2186
FILE NO. W-4383
JOB NO. 79678

This is to certify that on the 4TH day of JUNE, 2013, an actual survey was made under my supervision of the property shown on this plat, and that the boundary lines and the improvements, if any, are as shown hereon, this plat meets the minimum standards of practice for land surveying in North Carolina, board rule .1600 (21 ncar 56) and the ratio of precision does not exceed an error of closure of one (1) foot per 10,000 feet of perimeter surveyed nor 20 seconds times the square root of the number of angles turned.

Signed _____

ALTA/ACSM CERTIFICATION:
To: Chiba Group, LLC; QuikTrip Corporation; Quattlebaum Assoc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 minimum standard detail requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 7(a), 7(b), 7(c), 8, 9, 10, 11(b), 13, 14, 16, 17 and 18 of table a thereof. The field work was completed on June 4, 2013.

Justin F. Cloninger
Professional Land Surveyor NCLPS L-4430

BENCHMARKS:
BM-1
(N.C.S. Monument "7M 094") station is 13.98 ft S 37° E of the centerline of Charing Cross Rd, 51.38 ft N 45° E of the centerline of a driveway, 40.29 ft N 25° E of utility pole No. 7010-009, and 50.39 ft S 15° E of fire hydrant no. 38.
Elevation=731.17'

TBM-1
nail set in utility pole near the northwest corner of the subject property.
Elevation=716.64'

PARKING:
No parking exists on subject property.

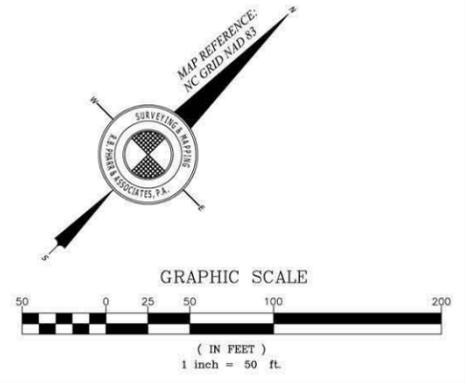
- GENERAL NOTES:**
- All corners monumented as shown.
 - The location of underground utilities shown on this map is approximate, based on information provided by others or by field location. Utility locations as shown hereon are intended for planning only; actual location, size, or depth of line should be verified with the individual utility company before construction.
 - Elevations based on N.C.S. Monument "7M 094", elevation = 731.17 feet, NAVD 88.
 - Broken lines indicate property lines not surveyed.
 - The off-site right-of-way shown hereon is for illustrative purposes only. The undersigned certifies only to the right-of-ways surveyed, and does not certify to the right of way width of any adjacent properties.
 - Contour interval = 1 ft.
 - Monroe Road is shown as a "major thoroughfare" on the Mecklenburg-Union Metropolitan planning organization thoroughfare plan of 2004 and may be subject to a future right-of-way of 50' from centerline.

ZONING:
Zoning restrictions as per zoning ordinance: subject property zoned: I-1 (Light Industrial District)

Setbacks I-1 District
minimum setback: 40'
minimum side yard: 10'
minimum rear yard: 20'
maximum height: 35'

*For buildings or structures greater than 35 feet in height, side and rear yards must be increased by one foot for every two feet (or fraction thereof) of building height over 35 feet. In addition, the Fire Chief or County Marshall must confirm there is adequate firefighting equipment available (locally of through mutual aid).

For further information contact the Town of Matthews Zoning Department at 704-708-1232.



REZONING PETITION
#2013-605

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCE OR SALES

PROJECT NO.: 79678 W-4383

QuikTrip No. 1028
10701 MONROE ROAD
TOWN OF MATTHEWS, MECKLENBURG COUNTY, N.C.



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PROTOTYPE: P-74 (2/01/13)
DIVISION:
VERSION: 001
DESIGNED BY:
DRAWN BY: NM
REVIEWED BY: JFC

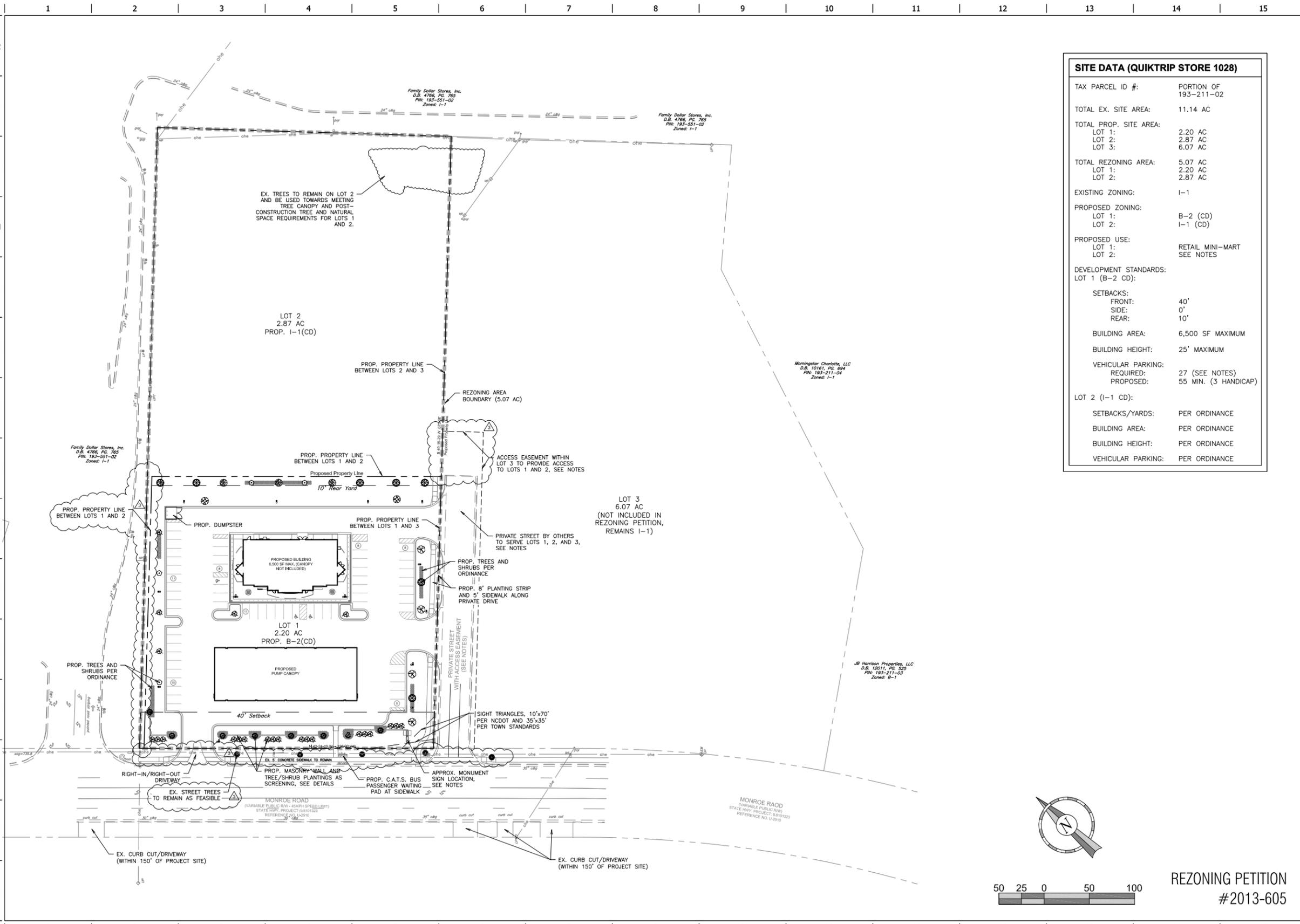
REV.	DATE	DESCRIPTION
1	12.23.13	PER STAFF COMMENTS
2	01.20.14	PER STAFF AND TOWN BOARD COMMENTS
3	02.03.14	PER STAFF AND TOWN BOARD COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
SURVEY PLAN

SHEET NUMBER:
RZ-1

FILE LOCATION: \\QuikTrip\13-040 - 1028\Drawings\13-040 Base-Resizing.dwg TAB NAME: Resizing Plan USER: chiphannon SAVED: 2/3/2014 5:04 PM PLOTTED: 2/4/2014 9:56 AM



SITE DATA (QUIKTRIP STORE 1028)	
TAX PARCEL ID #:	PORTION OF 193-211-02
TOTAL EX. SITE AREA:	11.14 AC
TOTAL PROP. SITE AREA:	2.20 AC
LOT 1:	2.87 AC
LOT 2:	6.07 AC
TOTAL REZONING AREA:	5.07 AC
LOT 1:	2.20 AC
LOT 2:	2.87 AC
EXISTING ZONING:	I-1
PROPOSED ZONING:	LOT 1: B-2 (CD) LOT 2: I-1 (CD)
PROPOSED USE:	LOT 1: RETAIL MINI-MART LOT 2: SEE NOTES
DEVELOPMENT STANDARDS:	LOT 1 (B-2 CD):
SETBACKS:	FRONT: 40' SIDE: 0' REAR: 10'
BUILDING AREA:	6,500 SF MAXIMUM
BUILDING HEIGHT:	25' MAXIMUM
VEHICULAR PARKING:	REQUIRED: 27 (SEE NOTES) PROPOSED: 55 MIN. (3 HANDICAP)
LOT 2 (I-1 CD):	SETBACKS/YARDS: PER ORDINANCE BUILDING AREA: PER ORDINANCE BUILDING HEIGHT: PER ORDINANCE VEHICULAR PARKING: PER ORDINANCE

PROJECT NO.: 13-040

URBAN DESIGN PARTNERS
1318-w central ave. • 704-334-3303
charlotte, nc 28205 • f. 704-334-3305
urban@designpartners.com

QuikTrip No. 1028
10701 MONROE ROAD
MATTHEWS, NC

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WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

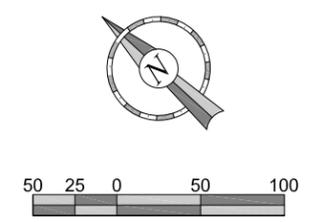
PROTOTYPE: P-75 (5/01/13)
DIVISION:
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY: JCP

REV	DATE	DESCRIPTION
1	12/23/13	REV STAFF COMMENTS
2	2/3/2014	REV STAFF AND TOWN BOARD COMMENTS
3	2/3/2014	REV STAFF AND TOWN BOARD COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

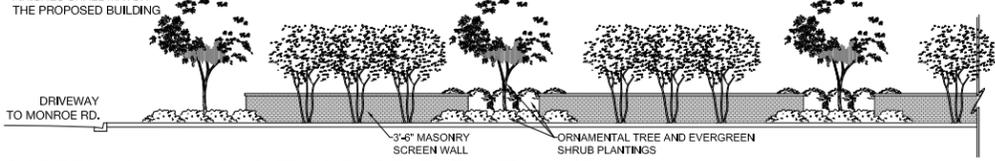
SHEET TITLE:
REZONING PLAN

SHEET NUMBER:
RZ-2

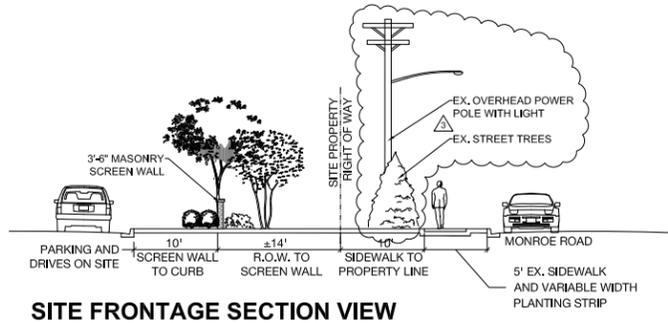


REZONING PETITION
#2013-605

NOTE: SCREEN WALL MASONRY FINISHES SHALL MATCH THE PROPOSED BUILDING



SCREEN WALL ALONG FRONTAGE- ELEVATION VIEW



SITE FRONTAGE SECTION VIEW



QT QuikTrip 1028 View from West Corner 10701 Monroe Road Matthews, NC 8/1-1028-PE09 NTS 08/10/13 CDC

△ SITE PERSPECTIVE (FROM NORTH CORNER)

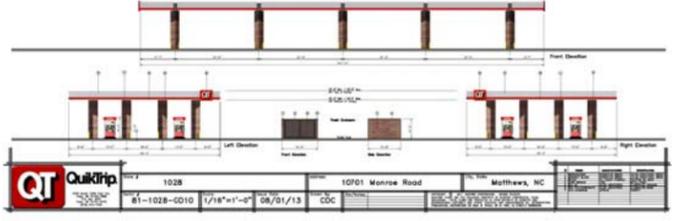


BUILDING ELEVATIONS



QT QuikTrip 1028 View from Monroe Road 10701 Monroe Road Matthews, NC 8/1-1028-PE10 NTS 08/10/13 CDC

SITE PERSPECTIVE (FROM MONROE ROAD)



PUMP CANOPY ELEVATIONS



QT QuikTrip 1028 Birds Eye Perspective 10701 Monroe Road Matthews, NC 8/1-1028-PE08 NTS 08/10/13 CDC

△ SITE PERSPECTIVE (AERIAL)



QT QuikTrip 1028 View from South Corner 10701 Monroe Road Matthews, NC 8/1-1028-PE11 NTS 08/10/13 CDC

SITE PERSPECTIVE (FROM SOUTH CORNER)

NOTE: IMAGES ARE ILLUSTRATIVE ONLY

REZONING PETITION
#2013-605

PROJECT NO.: 13-040
URBAN DESIGN PARTNERS
1315-W Central Ave. P. 704.334.3303
Charlotte, NC 28205 F. 704.334.3305
urban@designpartners.com

QuikTrip No. 1028
10701 MONROE ROAD
MATTHEWS, NC



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PROTOTYPE: P-75 (5/01/13)
DIVISION:
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY: JCP

REV	DATE	DESCRIPTION
1	12/2/13	REV START COMMENTS
2	2/2/14	REV START AND TOWER BOARD COMMENTS
3	2/2/14	REV START AND TOWER BOARD COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
BUILDING ELEVATIONS AND PERSPECTIVES

SHEET NUMBER:
RZ-3

General Provisions

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by QuikTrip Corporation to accommodate the development of a retail mini-market with gasoline pump sales on an approximately 2.20 acre portion of that approximately 5.07 acre site located on the east side of Monroe Road, north of Industrial Drive (the "Site").
- The Site is a portion of that approximately 11.14 acre parcel of land designated as Parcel No. 193-211-02 on the Mecklenburg County Tax Maps. For purposes of this rezoning request, Parcel No. 193-211-02 is divided into three lots, which are designated as Lot 1, Lot 2 and Lot 3 on the Rezoning Plan. Lot 1 and Lot 2 comprise the Site and are subject to the Rezoning Petition filed by QuikTrip Corporation, and Lot 3 is not part of this rezoning request.
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Town of Matthews Zoning Ordinance (the "Ordinance") for the B-2 zoning district shall govern the use and development of that portion of the Site designated as Lot 1 on the Rezoning Plan.
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the I-1 zoning district shall govern the use and development of that portion of the Site designated as Lot 2 on the Rezoning Plan.
- The exact locations of the building, canopy and parking areas to be constructed on Lot 1 have not been determined. Petitioner, therefore, reserves the flexibility to make adjustments to the precise locations of these improvements shown on the Rezoning Plan during the design development and construction phases. However, the placement of these improvements shall be generally consistent with the locations depicted on the Rezoning Plan and they shall satisfy all Ordinance standards.
- The number, location, size and height of the buildings to be located on Lot 2, as well as the location of the parking areas and other improvements shall be governed by the standards and regulations set out in the Ordinance.

Permitted Uses

A. Lot 1

- That portion of the Site designated as Lot 1 on the Rezoning Plan may only be devoted to a retail mini-market with gasoline pump sales, and to any accessory uses relating thereto that are allowed in the B-2 zoning district.
- The maximum number of multiple product dispensers permitted on Lot 1 shall be 10 and the maximum number of pumps shall be 20.
- A car wash may not be located on Lot 1.
- Notwithstanding anything contained herein to the contrary, the overnight parking or storage of tractor trailer trucks shall be prohibited on Lot 1.

B. Lot 2

- That portion of the Site designated as Lot 2 on the Rezoning Plan may only be devoted to the uses set out below that are permitted by right in the I-1 zoning district under Section 153.062(B) of the Ordinance and to any allowed accessory uses relating thereto. No other uses permitted by right under Section 153.062(B) of the Ordinance shall be permitted on Lot 2.
 - Auction sales
 - Automobile and truck rentals
 - Automobile repair garages, including engine overhaul, body and paint shops, and similar operations
 - Automobile service stations, providing minor adjustments, minor repairs, and lubrication to any type of motor vehicle
 - Automobiles, new and used, retail and wholesale sales, including accessory repair and service facilities
 - Banks
 - Beauty shops and barber shops
 - Blueprinting and photostating
 - Boats, retail sales and repair
 - Buildings for the display of sample merchandise
 - Bus passenger stations
 - Clinics, medical, dental, and doctor offices
 - Exterminators
 - Fabric samples assembly
 - Feed, retail sales
 - Fences and fence material, retail sales
 - Florist shops
 - Laboratories for research and testing of products
 - Laboratory, dental, medical and optical
 - Locksmiths and gunsmiths
 - Motels, motor courts, and hotels
 - Motorcycle, retail sales and repair
 - Nurseries and green houses, retail
 - Offices
 - Optician
 - Parking lots and parking structures, commercial
 - Second hand goods, retail sales
 - Post offices
 - Printing and photo processing
 - Repair and service of any article, the sale of which is permitted in the I-1 district, except as otherwise indicated in the Ordinance
 - Restaurants, lounges, and nightclubs without drive-through services
 - Restaurants with drive-in service
 - Retail sales, businesses and professional, financial, personal, and recreation services
 - Sign manufacturing
 - Studios for artists, photographers, designers, musicians, sculptors, and gymnasts
 - Theaters, housed within an enclosed structure
 - Trucks, retail and wholesale sales, and rental, including accessory service and repair but not including tractor and trailer units
 - Assembly of previously prepared parts into a finished product, except as otherwise restricted in the Ordinance
 - Bakeries and baking plants, including manufacturing, wholesale and retail
 - Building materials storage and wholesale and retail sales, including lumber, brick, tile, stone, concrete, cement, and similar materials within enclosed buildings, tanks, and similar structures
 - Building materials storage yards and wholesale and retail sales, including lumber, brick, tile, stone, concrete, cement and similar materials
 - Dairy products processing, bottling, and distribution
 - Engraving, excluding textile engraving
 - Engraving, including textile engraving
 - Food processing, excluding poultry and animal slaughtering and dress
 - Garment manufacturing, limited to cutting and assembly from previously manufactured textile material
 - Greenhouses and nurseries involving retail and wholesale sales
- That portion of the Site designated as Lot 2 on the Rezoning Plan may be devoted to any uses permitted under prescribed conditions in the I-1 zoning district set out in Section 153.062(C) of the Ordinance and to any allowed accessory uses relating thereto.
- Notwithstanding anything contained herein to the contrary, the overnight parking or storage of tractor trailer trucks shall be prohibited on Lot 2.

Maximum Gross Floor Area

- The maximum gross floor area of the building to be located on Lot 1 shall be 6,500 square feet. The area under the canopy to be located over the gas pumps shall not be included in the calculation of gross floor area.
- The total maximum allowed gross floor area of the building(s) to be located on Lot 2 shall be governed by the standards of the Ordinance.

Setbacks and Yards

The development of the Site shall satisfy or exceed the setback, rear yard and side yard requirements of the Ordinance.

Access

- Vehicular access to the Site shall be as generally depicted on Sheet RZ-2 of the Rezoning Plan. The placement and configuration of each vehicular access point are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the North Carolina Department of Transportation and/or the Town of Matthews.
- As noted on Sheet RZ-2 of the Rezoning Plan, the northern most access point from Monroe Road shall be restricted to a right-in, right-out driveway. A pork chop shall be installed in this driveway to limit vehicular movements to right-in, right-out. The design and installation of the pork chop must be approved by the North Carolina Department of Transportation.
- The private street or drive (the "Private Street") located along the southern boundary line of the Site that will provide vehicular and pedestrian access to and from the Site (Lot 1 and Lot 2) is not located on the Site. Petitioner shall secure an easement to utilize the Private Street for vehicular and pedestrian access to and from the Site, and Petitioner shall provide a recorded copy of the easement agreement to the Town of Matthews Planning Department prior to the issuance of any permits for the development of any portion of the Site.

Streetscape Treatment/Sidewalks

- The streetscape treatment along the Site's frontage on Monroe Road shall comply with the requirements of the Ordinance.
- The existing sidewalk located along the Site's frontage on Monroe Road shall remain in place.
- To enhance the appearance of the Site as viewed from Monroe Road, Petitioner shall install those streetscape improvements along the Site's frontage on Monroe Road that are more particularly depicted on Sheets RZ-2 and RZ-3 of the Rezoning Plan. These streetscape improvements shall include trees, shrubs and a screen wall. The types of trees and shrubs and the screen wall materials are specified on Sheet RZ-3 of the Rezoning Plan.
- Petitioner shall install a planting strip and a sidewalk along Lot 1's frontage on the Private Street as depicted on Sheet RZ-2 of the Rezoning Plan.
- The sidewalk depicted on Sheet RZ-2 of the Rezoning Plan leading from the existing sidewalk located along the Site's frontage on Monroe into Lot 1 shall be ADA compliant.
- The existing street trees located along the Site's frontage on Monroe Road cannot be removed without the approval of the Town of Matthews Planning Department.

Architectural Standards

A. Lot 1

- The maximum height of the building to be constructed on Lot 1 shall be 25 feet.
- The maximum height of the top of the canopy to be located over the gas pumps on Lot 1 shall be 22 feet. The maximum interior clearance height of the canopy to be located over the gas pumps on Lot 1 shall be 18 feet.
- Set out on Sheet RZ-3 of the Rezoning Plan are schematic architectural renderings of the building to be constructed on Lot 1 that will contain the retail mini-market that are intended to depict the general conceptual architectural style and character of this building. Accordingly, the building to be constructed on Lot 1 that will contain the retail mini-market shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural renderings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.
- The exterior building materials for the building to be constructed on Lot 1 that will contain the retail mini-market are listed on the schematic architectural renderings of such building set out on Sheet RZ-3 of the Rezoning Plan.
- At least 80 percent of each facade of the building that will contain the retail mini-market below the roofline shall be composed of brick, stone, pre-cast concrete or similar masonry products, architectural tile or a combination thereof. "Each facade below the roofline" is defined as the entire exterior surface area below the roofline excluding windows, doors and trim, so that windows, doors and trim are not considered when calculating the minimum percentage of material required.
- Set out on Sheet RZ-3 of the Rezoning Plan are schematic architectural renderings of the canopy to be constructed over the gas pumps to be installed on Lot 1 that are intended to depict the general conceptual architectural style and character of the canopy. Accordingly, the canopy to be constructed over the gas pumps to be installed on Lot 1 shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural renderings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.
- The exterior building materials for the canopy to be constructed over the gas pumps to be installed on Lot 1 are listed on the schematic architectural renderings of such canopy set out on Sheet RZ-3 of the Rezoning Plan.
- The dumpster and recycling area will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.
- The gate into the dumpster and recycling area shall remain closed at all times except when such area is in use.
- Blinds installed on any window or door located on the front or sides of the building to be constructed on Lot 1 shall not be opaque. Solar film may be installed on the windows and doors on the building to be constructed on Lot 1.

B. Lot 2

- The maximum height of any building to be constructed on Lot 2 shall be governed by the standards of the Ordinance.
- At least 50% of the street facing facade below the roofline of any building located on Lot 2 shall be composed of brick, stone, pre-cast concrete or similar masonry products, or a combination thereof. The remainder of the street facing facade below the roofline shall be composed of building materials chosen by the developer in its discretion. The "street facing facade below the roofline" is defined as the entire exterior surface area below the roofline excluding windows, doors and trim, so that windows, doors and trim are not considered when calculating the minimum percentage of material required.
- Prior to the issuance of a building permit for any building to be constructed on Lot 2, the site plan and the building elevations for such building must be approved by the Matthews Board of Commissioners.
- The dumpster and recycling area will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.
- The gate into the dumpster and recycling area shall remain closed at all times except when such area is in use.

Parking

- Off-street parking shall be provided on the Site in accordance with the requirements of the Ordinance.
- Parking areas shall comply with the interior landscaping requirements of the Ordinance.

Signs

- All signs installed on the Site shall comply with the requirements of the Ordinance. The signs depicted on the schematic architectural renderings set out on Sheet RZ-3 of the Rezoning Plan are illustrative only. All signs installed on the Site shall be separately permitted.
- Petitioner or any successor owners of the Site may pursue the approval of a Master Sign Plan pursuant to the terms of the Ordinance.
- A maximum of 20% of each window or glass door on a building may contain window signs.
- No flashing signs or animated signs installed within the building to be constructed on Lot 1 shall be visible from Monroe Road.

Environmental

The proposed retail mini-market with gasoline pump sales on Lot 1 shall comply with the Federal Stage (Phase) I EVR Regulations and any applicable successor or substitute regulations.

Screening and Landscaping

Screening and landscaping shall conform to the standards of the Ordinance.

Lighting

- Outdoor lighting shall meet the standards of the Ordinance.
- Existing "wall pack" style lighting shall be removed from the power poles located on the Site and within the right of way.

CATS

- Prior to the issuance of a certificate of occupancy for any new building constructed on the Site, Petitioner shall construct a ten foot by ten foot bus passenger waiting pad as depicted on Sheet RZ-2 of the Rezoning Plan. As depicted on Sheet RZ-2, the ten foot by ten foot bus waiting pad area shall include the area of the existing sidewalk.

Subdivision

The subdivision of the Site into Lot 1 and Lot 2 shall be completed prior to or contemporaneously with the issuance of any permits for the development of any portion of the Site.

Binding Effect of the Rezoning Documents and Definitions

- If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in Interest and assigns.
- Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in Interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.



QuikTrip No. 1028
10701 MONROE ROAD
MATTHEWS, NC



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PROTOTYPE:	P-75 (5/01/13)
DIVISION:	
VERSION:	001
DESIGNED BY:	UDP
DRAWN BY:	UDP
REVIEWED BY:	JCP

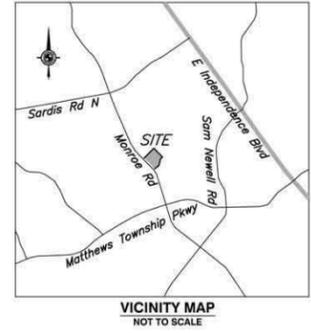
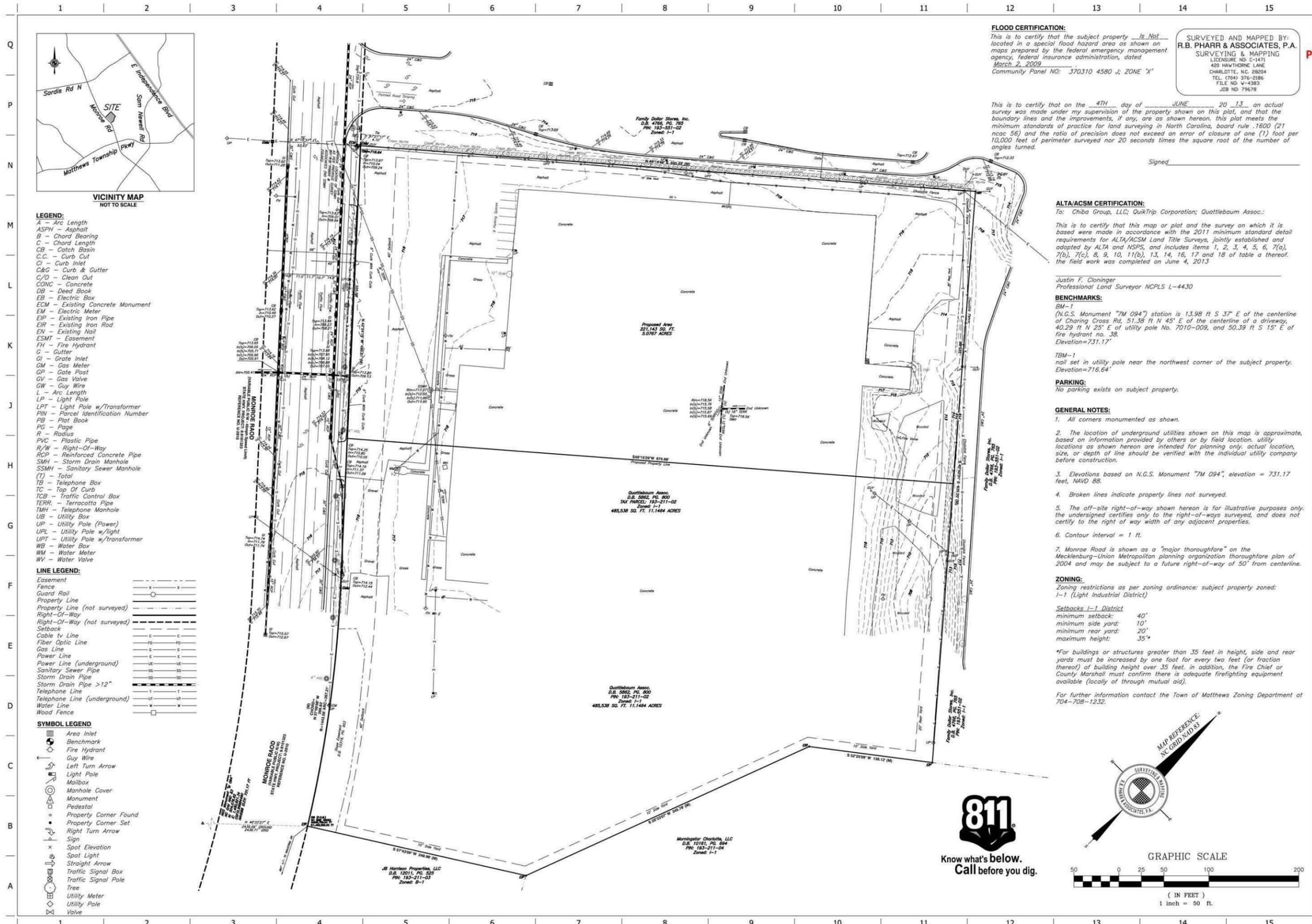
REV	DATE	DESCRIPTION
1	12.23.13	REV START AND TOWN BOARD COMMENTS
2	2.17.2014	REV START AND TOWN BOARD COMMENTS
3	2.23.14	REV START AND TOWN BOARD COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
DEVELOPMENT NOTES

SHEET NUMBER:
RZ-4

REZONING PETITION
#2013-605



- LEGEND:**
- A - Arc Length
 - ASPH - Asphalt
 - B - Chord Bearing
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 - LP - Light Pole
 - LPT - Light Pole w/Transformer
 - PIW - Parcel Identification Number
 - PB - Plat Book
 - PG - Page
 - R - Radius
 - PVC - Plastic Pipe
 - ROW - Right-Of-Way
 - RCP - Reinforced Concrete Pipe
 - SMH - Storm Drain Manhole
 - SSMH - Sanitary Sewer Manhole
 - (T) - Total
 - TB - Telephone Box
 - TC - Top Of Curb
 - TCB - Traffic Control Box
 - TERR - Terracotta Pipe
 - TMH - Telephone Manhole
 - UB - Utility Box
 - UP - Utility Pole (Power)
 - URL - Utility Pole w/light
 - UPT - Utility Pole w/transformer
 - WB - Water Box
 - WM - Water Meter
 - WV - Water Valve
- LINE LEGEND:**
- Easement
 - Fence
 - Guard Rail
 - Property Line
 - Property Line (not surveyed)
 - Right-Of-Way
 - Right-Of-Way (not surveyed)
 - Setback
 - Cable tv Line
 - Fiber Optic Line
 - Gas Line
 - Power Line
 - Power Line (underground)
 - Sanitary Sewer Pipe
 - Storm Drain Pipe
 - Storm Drain Pipe >12"
 - Telephone Line
 - Telephone Line (underground)
 - Water Line
 - Wood Fence
- SYMBOL LEGEND**
- Area Inlet
 - Benchmark
 - Fire Hydrant
 - Guy Wire
 - Left Turn Arrow
 - Light Pole
 - Mailbox
 - Manhole Cover
 - Monument
 - Pedestal
 - Property Corner Found
 - Property Corner Set
 - Right Turn Arrow
 - Sign
 - Spot Elevation
 - Spot Light
 - Straight Arrow
 - Traffic Signal Box
 - Traffic Signal Pole
 - Tree
 - Utility Meter
 - Utility Pole
 - Valve

FLOOD CERTIFICATION:
 This is to certify that the subject property is Not located in a special flood hazard area as shown on maps prepared by the federal emergency management agency, federal insurance administration, dated March 2, 2009
 Community Panel NO: 370310 4580 J; ZONE "X"

SURVEYED AND MAPPED BY:
R.B. PHARR & ASSOCIATES, P.A.
 SURVEYING & MAPPING
 LICENSE NO. C-1473
 420 HAWTHORNE LANE
 CHARLOTTE, N.C. 28254
 TEL. (704) 376-2186
 FILE NO. W-4383
 JOB NO. 79678

This is to certify that on the 4TH day of JUNE 20 13, an actual survey was made under my supervision of the property shown on this plat, and that the boundary lines and the improvements, if any, are as shown hereon, this plat meets the minimum standards of practice for land surveying in North Carolina, board rule .1600 (21 ncar 56) and the ratio of precision does not exceed an error of closure of one (1) foot per 10,000 feet of perimeter surveyed nor 20 seconds times the square root of the number of angles turned.

Signed _____

ALTA/ACSM CERTIFICATION:
 To: Chiba Group, LLC; QuikTrip Corporation; Quattlebaum Assoc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 minimum standard detail requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 7(a), 7(b), 7(c), 8, 9, 10, 11(b), 13, 14, 16, 17 and 18 of table a thereof. The field work was completed on June 4, 2013.

Justin F. Cloninger
 Professional Land Surveyor NCLPS L-4430

BENCHMARKS:
 BM-1
 (N.C.S. Monument "7M 094") station is 13.98 ft S 37° E of the centerline of Charing Cross Rd, 51.38 ft N 45° E of the centerline of a driveway, 40.29 ft N 25° E of utility pole No. 7010-009, and 50.39 ft S 15° E of fire hydrant no. 38.
 Elevation=731.17'

TBM-1
 nail set in utility pole near the northwest corner of the subject property.
 Elevation=716.64'

PARKING:
 No parking exists on subject property.

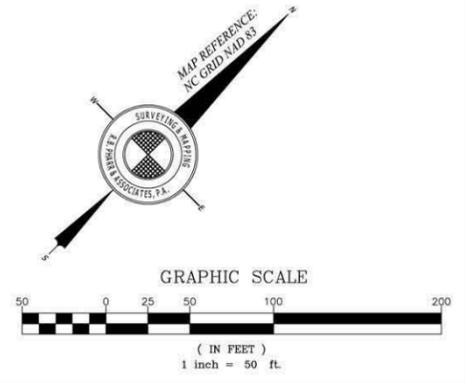
- GENERAL NOTES:**
- All corners monumented as shown.
 - The location of underground utilities shown on this map is approximate, based on information provided by others or by field location. Utility locations as shown hereon are intended for planning only; actual location, size, or depth of line should be verified with the individual utility company before construction.
 - Elevations based on N.C.S. Monument "7M 094", elevation = 731.17 feet, NAVD 88.
 - Broken lines indicate property lines not surveyed.
 - The off-site right-of-way shown hereon is for illustrative purposes only. The undersigned certifies only to the right-of-ways surveyed, and does not certify to the right of way width of any adjacent properties.
 - Contour interval = 1 ft.
 - Monroe Road is shown as a "major thoroughfare" on the Mecklenburg-Union Metropolitan planning organization thoroughfare plan of 2004 and may be subject to a future right-of-way of 50' from centerline.

ZONING:
 Zoning restrictions as per zoning ordinance: subject property zoned: I-1 (Light Industrial District)

Setbacks I-1 District
 minimum setback: 40'
 minimum side yard: 10'
 minimum rear yard: 20'
 maximum height: 35'

*For buildings or structures greater than 35 feet in height, side and rear yards must be increased by one foot for every two feet (or fraction thereof) of building height over 35 feet. In addition, the Fire Chief or County Marshall must confirm there is adequate firefighting equipment available (locally of through mutual aid).

For further information contact the Town of Matthews Zoning Department at 704-708-1232.



PRELIMINARY PLAT
 NOT FOR RECORDATION
 CONVEYANCE OR SALES

PROJECT NO.: 79678 W-4383

QuikTrip No. 1028
 10701 MONROE ROAD
 TOWN OF MATTHEWS, MECKLENBURG COUNTY, N.C.



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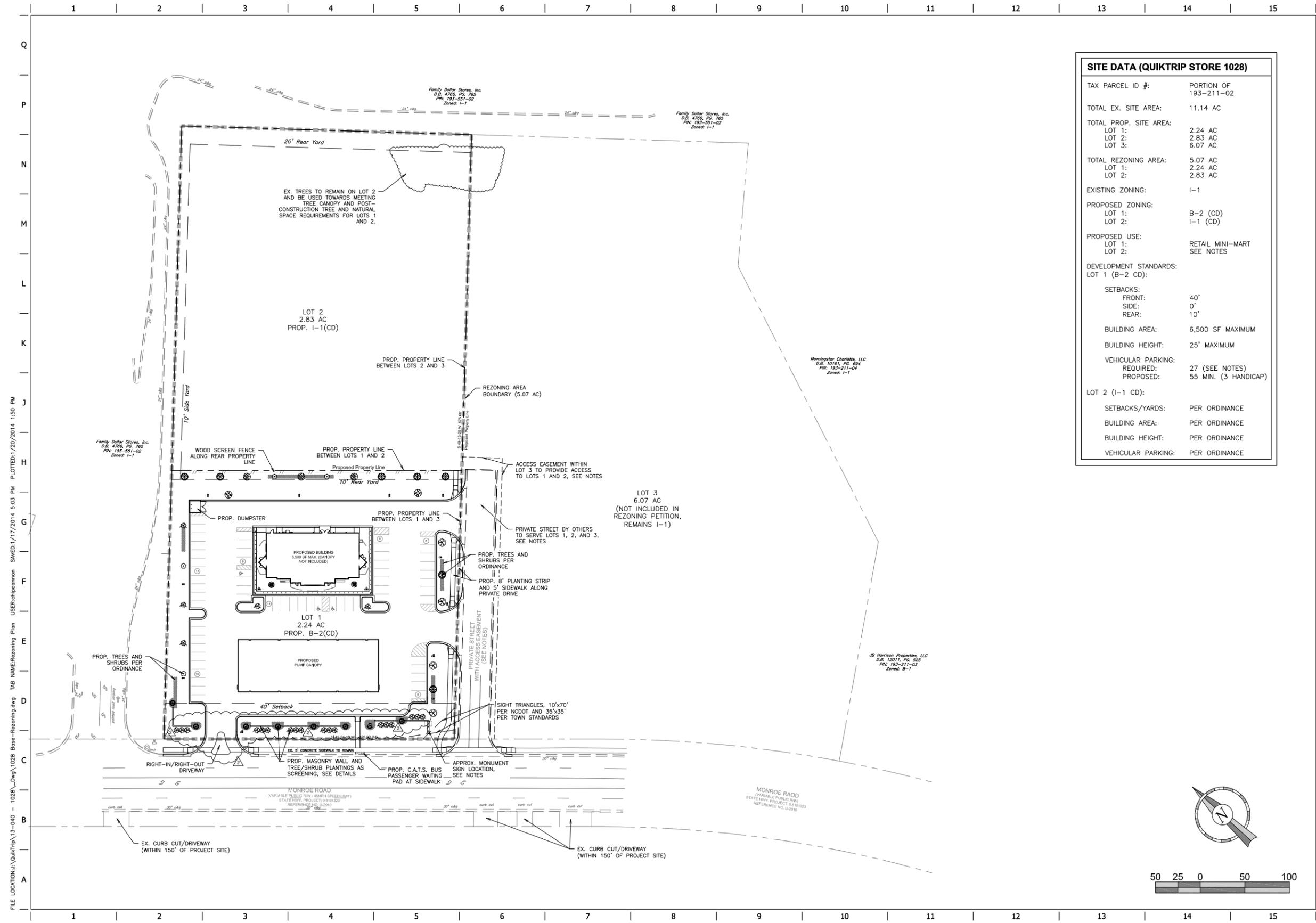
PROTOTYPE: P-74 (2/01/13)
 DIVISION:
 VERSION: 001
 DESIGNED BY:
 DRAWN BY: NM
 REVIEWED BY: JFC

REV.	DATE	DESCRIPTION
1	12.23.13	PER STAFF COMMENTS
2	01.20.14	PER STAFF AND TOWN BOARD COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
 SURVEY PLAN

SHEET NUMBER:
 RZ-1



SITE DATA (QUIKTRIP STORE 1028)	
TAX PARCEL ID #:	PORTION OF 193-211-02
TOTAL EX. SITE AREA:	11.14 AC
TOTAL PROP. SITE AREA:	
LOT 1:	2.24 AC
LOT 2:	2.83 AC
LOT 3:	6.07 AC
TOTAL REZONING AREA:	5.07 AC
LOT 1:	2.24 AC
LOT 2:	2.83 AC
EXISTING ZONING:	I-1
PROPOSED ZONING:	
LOT 1:	B-2 (CD)
LOT 2:	I-1 (CD)
PROPOSED USE:	RETAIL MINI-MART
LOT 1:	SEE NOTES
LOT 2:	SEE NOTES
DEVELOPMENT STANDARDS:	
LOT 1 (B-2 CD):	
SETBACKS:	
FRONT:	40'
SIDE:	0'
REAR:	10'
BUILDING AREA:	6,500 SF MAXIMUM
BUILDING HEIGHT:	25' MAXIMUM
VEHICULAR PARKING:	
REQUIRED:	27 (SEE NOTES)
PROPOSED:	55 MIN. (3 HANDICAP)
LOT 2 (I-1 CD):	
SETBACKS/YARDS:	PER ORDINANCE
BUILDING AREA:	PER ORDINANCE
BUILDING HEIGHT:	PER ORDINANCE
VEHICULAR PARKING:	PER ORDINANCE

PROJECT NO: 13-040

URBAN DESIGN PARTNERS
1315 Hill Central Ave., # 704-334-3303
Charlotte, NC 28206 • 704-334-2005
urban@designpartners.com

QuikTrip No. 1028
10701 MONROE ROAD
MATTHEWS, NC

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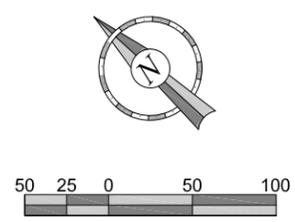
PROTOTYPE: P-75 (5/01/13)
DIVISION:
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY: JCP

REV	DATE	DESCRIPTION
1	12.23.13	PRELIMINARY COMMENTS
2	01.20.14	PRELIMINARY COMMENTS

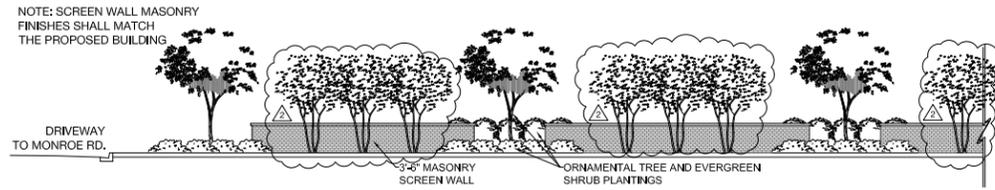
ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
REZONING PLAN

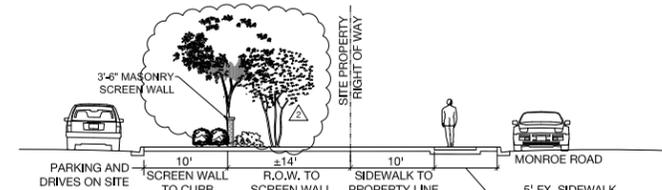
SHEET NUMBER:
RZ-2



FILE LOCATION: \\QuikTrip\13-040 - 1028\Draw\1028 Base-Resizing.dwg TAB NAME: Rezoning Plan USER: jhigdon PLOTTED: 1/20/2014 1:50 PM



SCREEN WALL ALONG FRONTAGE- ELEVATION VIEW



SITE FRONTAGE SECTION VIEW



QT QuikTrip	1028	View from North Corner	10701 Monroe Road	Matthews, NC
BT-1028-PE09	NTS	08/10/13	CDC	

△ SITE PERSPECTIVE (FROM NORTH CORNER)



QT QuikTrip	1028	Building Elevations	10701 Monroe Road	Matthews, NC
BT-1028-BE11	1/18"=1'-0"	08/01/13	CDC	

△ BUILDING ELEVATIONS



QT QuikTrip	1028	View from Monroe Road	10701 Monroe Road	Matthews, NC
BT-1028-PE10	NTS	08/10/13	CDC	

△ SITE PERSPECTIVE (FROM MONROE ROAD)



QT QuikTrip	1028	Pump Canopy Elevations	10701 Monroe Road	Matthews, NC
BT-1028-CE10	1/18"=1'-0"	08/01/13	CDC	

△ PUMP CANOPY ELEVATIONS



QT QuikTrip	1028	Blind Eye View	10701 Monroe Road	Matthews, NC
BT-1028-PE08	NTS	08/10/13	CDC	

△ SITE PERSPECTIVE (AERIAL)



QT QuikTrip	1028	View from South Corner	10701 Monroe Road	Matthews, NC
BT-1028-PE11	NTS	08/10/13	CDC	

△ SITE PERSPECTIVE (FROM SOUTH CORNER)

NOTE: IMAGES ARE ILLUSTRATIVE ONLY

PROJECT NO.: 13-040

URBAN DESIGN PARTNERS
1315-W Central Ave. P. 704.334.3303
Charlotte, NC 28205 F. 704.334.3305
urbanpartners.com

QuikTrip No. 1028
10701 MONROE ROAD
MATTHEWS, NC



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PROTOTYPE: P-75 (5/01/13)
DIVISION:
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY: JCP

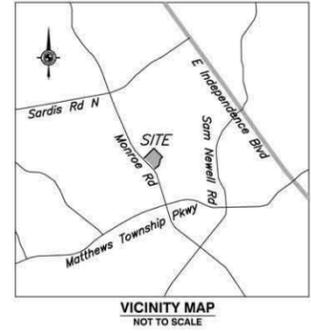
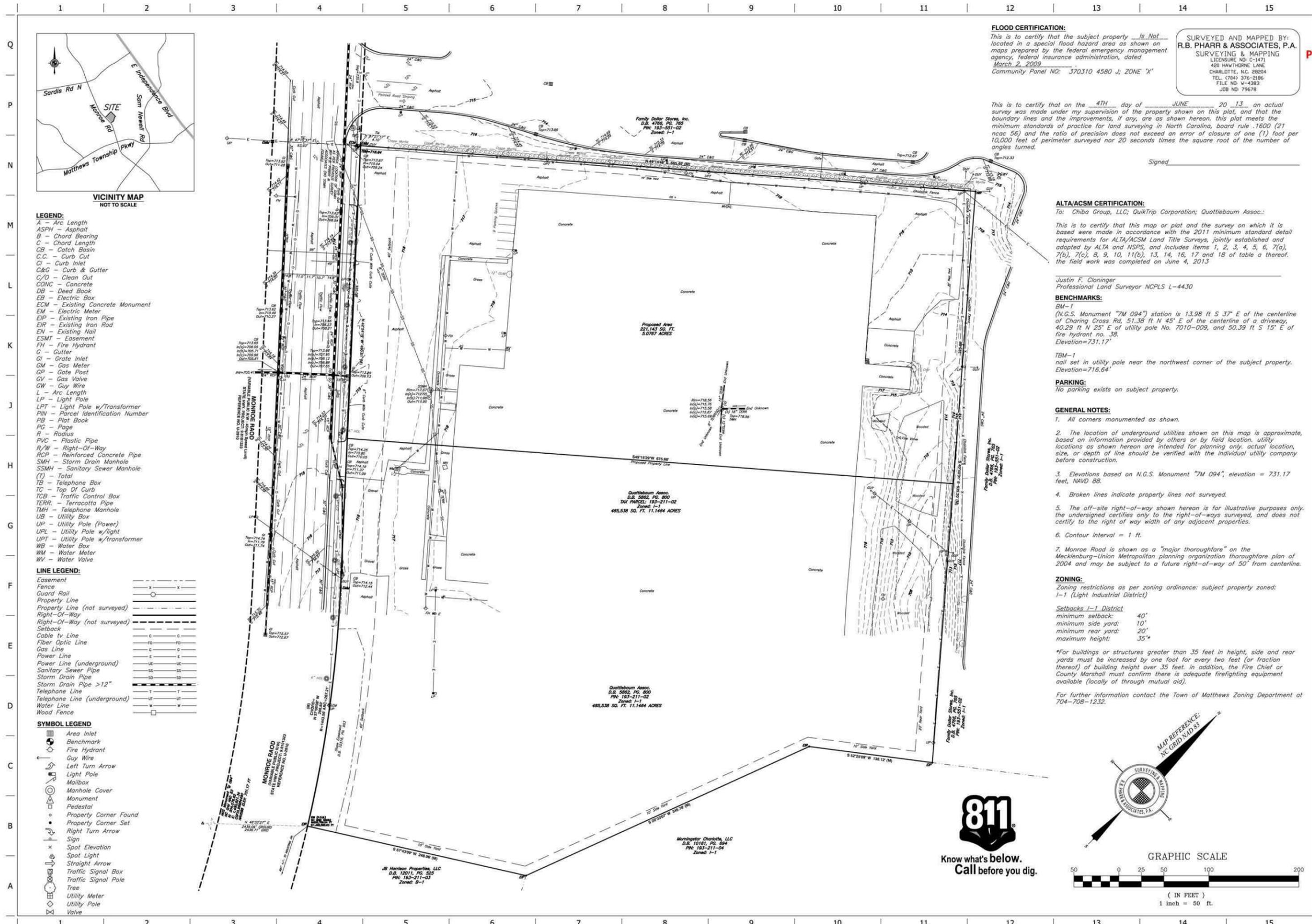
REV	DATE	DESCRIPTION
1	12/21/13	REV START COMMENTS
2	01/20/14	REV START AND TOWER BOARD COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
BUILDING ELEVATIONS AND PERSPECTIVES

SHEET NUMBER:
RZ-3

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15									
Q	<p>General Provisions</p> <p>1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by QuikTrip Corporation to accommodate the development of a retail mini-market with gasoline pump sales on an approximately 2.24 acre portion of that approximately 5.07 acre site located on the east side of Monroe Road, north of Industrial Drive (the "Site").</p> <p>2. The Site is a portion of that approximately 11.14 acre parcel of land designated as Parcel No. 193-211-02 on the Mecklenburg County Tax Maps. For purposes of this rezoning request, Parcel No. 193-211-02 is divided into three lots, which are designated as Lot 1, Lot 2 and Lot 3 on the Rezoning Plan. Lot 1 and Lot 2 are subject to the Rezoning Petition filed by QuikTrip Corporation, and Lot 3 is not part of this rezoning request.</p> <p>3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Town of Matthews Zoning Ordinance (the "Ordinance") for the B-2 zoning district shall govern the use and development of that portion of the Site designated as Lot 1 on the Rezoning Plan.</p> <p>4. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the I-1 zoning district shall govern the use and development of that portion of the Site designated as Lot 2 on the Rezoning Plan.</p> <p>5. The exact locations of the building, canopy and parking areas to be constructed on Lot 1 have not been determined. Petitioner, therefore, reserves the flexibility to make adjustments to the precise locations of these improvements shown on the Rezoning Plan during the design development and construction phases. However, the placement of these improvements shall be generally consistent with the locations depicted on the Rezoning Plan and they shall satisfy all Ordinance standards.</p> <p>6. The number, location, size and height of the buildings to be located on Lot 2, as well as the location of the parking areas and other improvements shall be governed by the standards and regulations set out in the Ordinance.</p> <p>Permitted Uses</p> <p>A. Lot 1</p> <p>1. That portion of the Site designated as Lot 1 on the Rezoning Plan may only be devoted to a retail mini-market with gasoline pump sales, and to any accessory uses relating thereto that are allowed in the B-2 zoning district.</p> <p>2. The maximum number of multiple product dispensers permitted on Lot 1 shall be 10 and the maximum number of pumps shall be 20.</p> <p>3. A car wash may not be located on Lot 1.</p> <p>B. Lot 2</p> <p>1. That portion of the Site designated as Lot 2 on the Rezoning Plan may only be devoted to the uses set out below that are permitted by right in the I-1 zoning district under Section 153.062(B) of the Ordinance and to any allowed accessory uses relating thereto. No other uses permitted by right under Section 153.062(B) of the Ordinance shall be permitted on Lot 2.</p> <ul style="list-style-type: none"> • Auction sales • Automobile and truck rentals • Automobile repair garages, including engine overhaul, body and paint shops, and similar operations • Automobile service stations, providing minor adjustments, minor repairs, and lubrication to any type of motor vehicle • Automobiles, new and used, retail and wholesale sales, including accessory repair and service facilities • Banks • Beauty shops and barber shops • Blueprinting and photostating • Boats, retail sales and repair • Buildings for the display of sample merchandise • Bus passenger stations • Clinics, medical, dental, and doctor offices • Exterminators • Fabric samples assembly • Feed, retail sales • Fences and fence material, retail sales • Florist shops • Laboratories for research and testing of products • Laboratory, dental, medical and optical • Locksmiths and gunsmiths • Motels, motor courts, and hotels • Motorcycle, retail sales and repair • Nurseries and green houses, retail • Offices • Optician • Parking lots and parking structures, commercial • Second hand goods, retail sales • Post offices • Printing and photo processing • Repair and service of any article, the sale of which is permitted in the I-1 district, except as otherwise indicated in the Ordinance • Restaurants, lounges, and nightclubs without drive-through services • Restaurants with drive-in service • Retail sales, businesses and professional, financial, personal, and recreation services • Sign manufacturing • Studios for artists, photographers, designers, musicians, sculptors, and gymnasts • Theaters, housed within an enclosed structure • Trucks, retail and wholesale sales, and rental, including accessory service and repair but not including tractor and trailer units • Assembly of previously prepared parts into a finished product, except as otherwise restricted in the Ordinance • Bakeries and baking plants, including manufacturing, wholesale and retail • Building materials storage and wholesale and retail sales, including lumber, brick, tile, stone, concrete, cement, and similar materials within enclosed buildings, tanks, and similar structures • Building materials storage yards and wholesale and retail sales, including lumber, brick, tile, stone, concrete, cement and similar materials • Dairy products processing, bottling, and distribution • Engraving, excluding textile engraving • Engraving, including textile engraving • Food processing, excluding poultry and animal slaughtering and dress • Garment manufacturing, limited to cutting and assembly from previously manufactured textile material • Greenhouses and nurseries involving retail and wholesale sales 																							
P	<p>Architectural Standards</p> <p>A. Lot 1</p> <p>1. The maximum height of the building to be constructed on Lot 1 shall be 25 feet.</p> <p>2. The maximum height of the canopy to be located over the gas pumps on Lot 1 shall be 22 feet.</p> <p>3. Set out on Sheet RZ-3 of the Rezoning Plan are schematic architectural renderings of the building to be constructed on Lot 1 that will contain the retail mini-market that are intended to depict the general conceptual architectural style and character of this building. Accordingly, the building to be constructed on Lot 1 that will contain the retail mini-market shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural renderings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.</p> <p>4. The exterior building materials for the building to be constructed on Lot 1 that will contain the retail mini-market are listed on the schematic architectural renderings of such building set out on Sheet RZ-3 of the Rezoning Plan.</p> <p>5. At least 80 percent of each facade of the building that will contain the retail mini-market below the roofline shall be composed of brick, stone, pre-cast concrete or similar masonry products, architectural tile or a combination thereof. "Each facade below the roofline" is defined as the entire exterior surface area below the roofline excluding windows, doors and trim, so that windows, doors and trim are not considered when calculating the minimum percentage of material required.</p> <p>6. Set out on Sheet RZ-3 of the Rezoning Plan are schematic architectural renderings of the canopy to be constructed over the gas pumps to be installed on Lot 1 that are intended to depict the general conceptual architectural style and character of the canopy. Accordingly, the canopy to be constructed over the gas pumps to be installed on Lot 1 shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural renderings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.</p> <p>7. The exterior building materials for the canopy to be constructed over the gas pumps to be installed on Lot 1 are listed on the schematic architectural renderings of such canopy set out on Sheet RZ-3 of the Rezoning Plan.</p> <p>8. The dumpster and recycling area will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.</p> <p>B. Lot 2</p> <p>1. The maximum height of any building to be constructed on Lot 2 shall be governed by the standards of the Ordinance.</p> <p>2. At least 50% of the street facing facade below the roofline of any building located on Lot 2 shall be composed of brick, stone, pre-cast concrete or similar masonry products, or a combination thereof. The remainder of the street facing facade below the roofline shall be composed of building materials chosen by the developer in its discretion. The "street facing facade below the roofline" is defined as the entire exterior surface area below the roofline excluding windows, doors and trim, so that windows, doors and trim are not considered when calculating the minimum percentage of material required.</p> <p>3. Prior to the issuance of a building permit for any building to be constructed on Lot 2, the site plan and the building elevations for such building must be approved by the Matthews Board of Commissioners.</p> <p>4. The dumpster and recycling area will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.</p> <p>Parking</p> <p>1. Off-street parking shall be provided on the Site in accordance with the requirements of the Ordinance.</p> <p>2. Parking areas shall comply with the interior landscaping requirements of the Ordinance.</p> <p>Signs</p> <p>1. All signs installed on the Site shall comply with the requirements of the Ordinance. The signs depicted on the schematic architectural renderings set out on Sheet RZ-3 of the Rezoning Plan are illustrative only. All signs installed on the Site shall be separately permitted.</p> <p>2. Petitioner or any successor owner of the Site may pursue the approval of a Master Sign Plan pursuant to the terms of the Ordinance.</p> <p>3. A maximum of 20% of each window or glass door may contain window signs if such signs are opaque, and a maximum of 40% of each window or glass door may contain window signs if such signs are open symbols without a background.</p> <p>Environmental</p> <p>The proposed retail mini-market with gasoline pump sales on Lot 1 shall comply with the Federal Stage (Phase) 1 EVR Regulations and any applicable successor or substitute regulations.</p> <p>Screening and Landscaping</p> <p>Screening and landscaping shall conform to the standards of the Ordinance.</p> <p>Lighting</p> <p>1. Outdoor lighting shall meet the standards of the Ordinance.</p> <p>2. Existing "wall pack" style lighting shall be removed from the power poles located on the Site.</p> <p>CATS</p> <p>Prior to the issuance of a certificate of occupancy for any new building constructed on the Site, Petitioner shall construct a ten foot bus passenger waiting pad as depicted on the Rezoning Plan.</p> <p>Binding Effect of the Rezoning Documents and Definitions</p> <p>1. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.</p> <p>2. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.</p>																							
N	<p>Maximum Gross Floor Area</p> <p>1. The maximum gross floor area of the building to be located on Lot 1 shall be 6,500 square feet. The area under the canopy to be located over the gas pumps shall not be included in the calculation of gross floor area.</p> <p>2. The total maximum allowed gross floor area of the building(s) to be located on Lot 2 shall be governed by the standards of the Ordinance.</p> <p>Setbacks and Yards</p> <p>The development of the Site shall satisfy or exceed the setback, rear yard and side yard requirements of the Ordinance.</p> <p>Access</p> <p>1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of each vehicular access point are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the North Carolina Department of Transportation and/or the Town of Matthews.</p> <p>2. As noted on Sheet RZ-2 of the Rezoning Plan, the northern most access point from Monroe Road shall be restricted to a right-in, right-out driveway. A pork chop shall be installed in this driveway to limit vehicular movements to right-in, right-out. The design and installation of the pork chop must be approved by the North Carolina Department of Transportation.</p> <p>3. The private street or drive (the "Private Street") located along the southern boundary line of the Site that will provide vehicular and pedestrian access to and from the Site (Lot 1 and Lot 2) is not located on the Site. Petitioner shall secure an easement to utilize the Private Street for vehicular and pedestrian access to and from the Site, and Petitioner shall provide a copy of the easement agreement to the Town of Matthews Planning Department.</p> <p>Streetscape Treatment/Sidewalk</p> <p>1. The streetscape treatment along the Site's frontage on Monroe Road shall comply with the requirements of the Ordinance.</p> <p>2. The existing sidewalk located along the Site's frontage on Monroe Road shall remain in place.</p> <p>3. To enhance the appearance of the Site as viewed from Monroe Road, Petitioner shall install those streetscape improvements along the Site's frontage on Monroe Road that are more particularly depicted on Sheet RZ-2 of the Rezoning Plan. These streetscape improvements shall include trees, shrubs and a screen wall. The types of trees and shrubs and the screen wall materials are specified on Sheet RZ-2 of the Rezoning Plan.</p> <p>4. Petitioner shall install a planting strip and a sidewalk along Lot 1's frontage on the Private Street as depicted on Sheet RZ-2 of the Rezoning Plan.</p>																							
M	<p>PROJECT NO.: 13-040</p> <p>URBAN DESIGN PARTNERS</p> <p>1316-66 Central Ave. P. 704.334.3303 Charlotte, NC 28205 F. 704.334.3305 urban@designpartners.com</p> <p>QuikTrip No. 1028</p> <p>10701 MONROE ROAD MATTHEWS, NC</p> <p>QT</p> <p>© COPYRIGHT QUIKTRIP CORPORATION 2011 ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION, OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.</p> <p>PROTOTYPE: P-75 (5/01/13) DIVISION: VERSION: 001 DESIGNED BY: UDP DRAWN BY: UDP REVIEWED BY: JCP</p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>12.23.13</td> <td>PRE-SUB COMMENTS</td> </tr> <tr> <td>2</td> <td>01.20.14</td> <td>PRE-SUB AND TOWN BOARD COMMENTS</td> </tr> </table> <p>ORIGINAL ISSUE DATE: 10-04-2013</p> <p>SHEET TITLE: DEVELOPMENT NOTES</p> <p>SHEET NUMBER: RZ-4</p>															REV	DATE	DESCRIPTION	1	12.23.13	PRE-SUB COMMENTS	2	01.20.14	PRE-SUB AND TOWN BOARD COMMENTS
REV	DATE	DESCRIPTION																						
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D																								
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B																								
A																								



- LEGEND:**
- A - Arc Length
 - ASPH - Asphalt
 - B - Chord Bearing
 - C - Chord Length
 - CB - Catch Basin
 - C.C. - Curb Cut
 - CI - Curb Inlet
 - C&G - Curb & Gutter
 - C/O - Clean Out
 - CONC - Concrete
 - DB - Deed Book
 - EB - Electric Box
 - ECM - Existing Concrete Monument
 - EM - Electric Meter
 - EIP - Existing Iron Pipe
 - EIR - Existing Iron Rod
 - EN - Existing Nail
 - ESMT - Easement
 - FH - Fire Hydrant
 - G - Gutter
 - GI - Grate Inlet
 - GM - Gas Meter
 - GP - Gate Post
 - GV - Gas Valve
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 - UP - Utility Pole (Power)
 - UPL - Utility Pole w/light
 - UPT - Utility Pole w/transformer
 - WB - Water Box
 - WM - Water Meter
 - WV - Water Valve
- LINE LEGEND:**
- Easement
 - Fence
 - Guard Rail
 - Property Line
 - Property Line (not surveyed)
 - Right-Of-Way
 - Right-Of-Way (not surveyed)
 - Setback
 - Cable tv Line
 - Fiber Optic Line
 - Gas Line
 - Power Line
 - Power Line (underground)
 - Sanitary Sewer Pipe
 - Storm Drain Pipe
 - Storm Drain Pipe >12"
 - Telephone Line
 - Telephone Line (underground)
 - Water Line
 - Wood Fence
- SYMBOL LEGEND**
- Area Inlet
 - Benchmark
 - Fire Hydrant
 - Guy Wire
 - Left Turn Arrow
 - Light Pole
 - Mailbox
 - Manhole Cover
 - Monument
 - Pedestal
 - Property Corner Found
 - Property Corner Set
 - Right Turn Arrow
 - Sign
 - Spot Elevation
 - Spot Light
 - Straight Arrow
 - Traffic Signal Box
 - Traffic Signal Pole
 - Tree
 - Utility Meter
 - Utility Pole
 - Valve

FLOOD CERTIFICATION:
This is to certify that the subject property is Not located in a special flood hazard area as shown on maps prepared by the federal emergency management agency, federal insurance administration, dated March 2, 2009.
Community Panel No: 370310 4580 J; ZONE "X"

SURVEYED AND MAPPED BY:
R.B. PHARR & ASSOCIATES, P.A.
SURVEYING & MAPPING
LICENSE NO. S-1471
420 HAWTHORNE LANE
CHARLOTTE, N.C. 28254
TEL: (704) 376-2186
FILE NO. W-4383
JOB NO. 79678

This is to certify that on the 4TH day of JUNE, 2013, an actual survey was made under my supervision of the property shown on this plat, and that the boundary lines and the improvements, if any, are as shown hereon, this plat meets the minimum standards of practice for land surveying in North Carolina, board rule .1600 (21 ncar 56) and the ratio of precision does not exceed an error of closure of one (1) foot per 10,000 feet of perimeter surveyed nor 20 seconds times the square root of the number of angles turned.

Signed _____

ALTA/ACSM CERTIFICATION:
To: Chiba Group, LLC; QuikTrip Corporation; Quattlebaum Assoc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 minimum standard detail requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 7(a), 7(b), 7(c), 8, 9, 10, 11(b), 13, 14, 16, 17 and 18 of table a thereof. The field work was completed on June 4, 2013.

Justin F. Cloninger
Professional Land Surveyor NCLPS L-4430

BENCHMARKS:
BM-1
(N.C.S. Monument "7M 094") station is 13.98 ft S 37° E of the centerline of Charing Cross Rd, 51.38 ft N 45° E of the centerline of a driveway, 40.29 ft N 25° E of utility pole No. 7010-009, and 50.39 ft S 15° E of fire hydrant no. 38.
Elevation=731.17'

TBM-1
nail set in utility pole near the northwest corner of the subject property.
Elevation=716.64'

PARKING:
No parking exists on subject property.

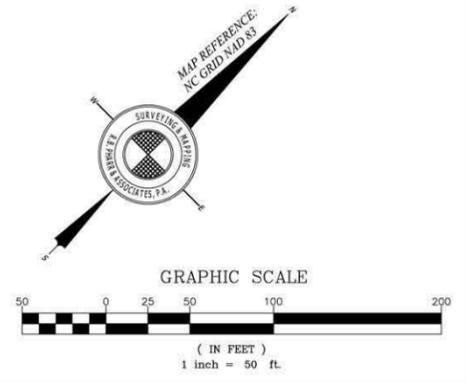
- GENERAL NOTES:**
- All corners monumented as shown.
 - The location of underground utilities shown on this map is approximate, based on information provided by others or by field location. Utility locations as shown hereon are intended for planning only; actual location, size, or depth of line should be verified with the individual utility company before construction.
 - Elevations based on N.C.S. Monument "7M 094", elevation = 731.17 feet, NAVD 88.
 - Broken lines indicate property lines not surveyed.
 - The off-site right-of-way shown hereon is for illustrative purposes only. The undersigned certifies only to the right-of-ways surveyed, and does not certify to the right of way width of any adjacent properties.
 - Contour interval = 1 ft.
 - Monroe Road is shown as a "major thoroughfare" on the Mecklenburg-Union Metropolitan planning organization thoroughfare plan of 2004 and may be subject to a future right-of-way of 50' from centerline.

ZONING:
Zoning restrictions as per zoning ordinance: subject property zoned: I-1 (Light Industrial District)

Setbacks I-1 District
minimum setback: 40'
minimum side yard: 10'
minimum rear yard: 20'
maximum height: 35'

*For buildings or structures greater than 35 feet in height, side and rear yards must be increased by one foot for every two feet (or fraction thereof) of building height over 35 feet. In addition, the Fire Chief or County Marshall must confirm there is adequate firefighting equipment available (locally of through mutual aid).

For further information contact the Town of Matthews Zoning Department at 704-708-1232.



PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCE OR SALES

PROJECT NO.: 79678 W-4383

QuikTrip No. 1028
10701 MONROE ROAD
TOWN OF MATTHEWS, MECKLENBURG COUNTY, N.C.



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PUBLICATION, DISTRIBUTION, OR SALE IN
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-74 (2/01/13)
DIVISION:
VERSION: 001
DESIGNED BY:
DRAWN BY: NM
REVIEWED BY: JFC

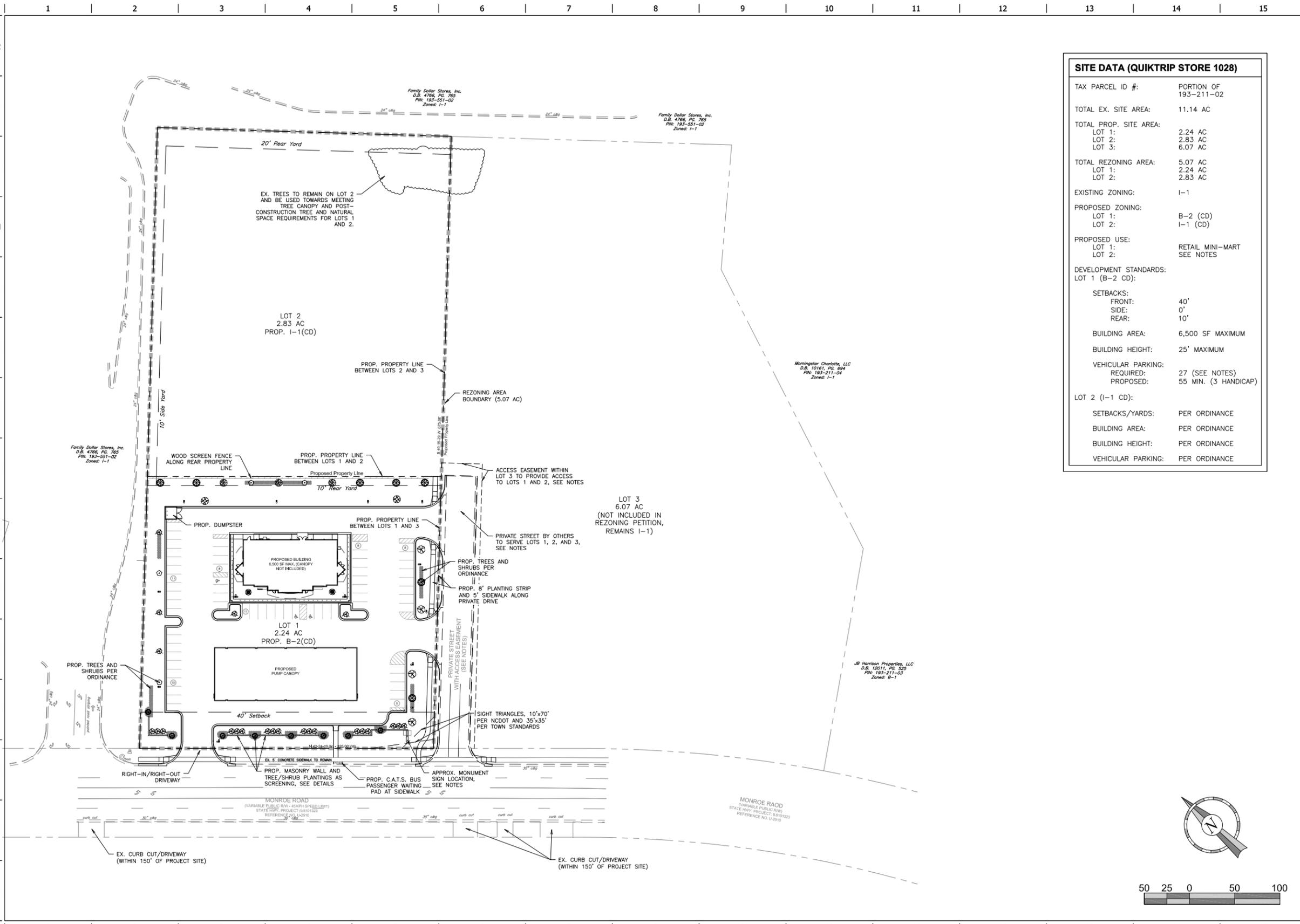
REV.	DATE	DESCRIPTION
1	12.23.13	PER STAFF COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
SURVEY PLAN

SHEET NUMBER:
RZ-1

FILE LOCATION: \\QuikTrip\13-040 - 1028\Drawings\13-040 Base-Resizing.dwg USER:chicannon SAVED:12/20/2013 3:39 PM PLOTTED:12/23/2013 12:35 PM



SITE DATA (QUIKTRIP STORE 1028)	
TAX PARCEL ID #:	PORTION OF 193-211-02
TOTAL EX. SITE AREA:	11.14 AC
TOTAL PROP. SITE AREA:	
LOT 1:	2.24 AC
LOT 2:	2.83 AC
LOT 3:	6.07 AC
TOTAL REZONING AREA:	5.07 AC
LOT 1:	2.24 AC
LOT 2:	2.83 AC
EXISTING ZONING:	I-1
PROPOSED ZONING:	
LOT 1:	B-2 (CD)
LOT 2:	I-1 (CD)
PROPOSED USE:	
LOT 1:	RETAIL MINI-MART
LOT 2:	SEE NOTES
DEVELOPMENT STANDARDS:	
LOT 1 (B-2 CD):	
SETBACKS:	
FRONT:	40'
SIDE:	0'
REAR:	10'
BUILDING AREA:	6,500 SF MAXIMUM
BUILDING HEIGHT:	25' MAXIMUM
VEHICULAR PARKING:	
REQUIRED:	27 (SEE NOTES)
PROPOSED:	55 MIN. (3 HANDICAP)
LOT 2 (I-1 CD):	
SETBACKS/YARDS:	PER ORDINANCE
BUILDING AREA:	PER ORDINANCE
BUILDING HEIGHT:	PER ORDINANCE
VEHICULAR PARKING:	PER ORDINANCE

PROJECT NO.: 13-040

URBAN DESIGN PARTNERS
1315-w central ave. • 704-334-3303
charlotte, nc 28205 • 704-334-3305
urban@designpartners.com

QuikTrip No. 1028
10701 MONROE ROAD
MATTHEWS, NC

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PROTOTYPE: P-75 (5/01/13)
DIVISION:
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY: JCP

REV	DATE	DESCRIPTION
1	12/23/13	PER STAFF COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
REZONING PLAN

SHEET NUMBER:
RZ-2



PROJECT NO.: 13-040

URBAN DESIGN PARTNERS

1315-sd central ave. • 704-334-3303
charlotte, nc 28205 • 704-334-3305
urban@designpartners.com

QuikTrip No. 1028
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PROTOTYPE: P-75 (5/01/13)
DIVISION: 001
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY: JCP

REV	DATE	DESCRIPTION
1	12/23/13	PER START COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
BUILDING ELEVATIONS AND PERSPECTIVES

SHEET NUMBER:
RZ-3

NOTE: IMAGES ARE ILLUSTRATIVE ONLY

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
Q	<p>General Provisions</p> <p>1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by QuikTrip Corporation to accommodate the development of a retail mini-market with gasoline pump sales on an approximately 2.24 acre portion of that approximately 5.07 acre site located on the east side of Monroe Road, north of Industrial Drive (the "Site").</p> <p>2. The Site is a portion of that approximately 11.14 acre parcel of land designated as Parcel No. 193-211-02 on the Mecklenburg County Tax Maps. For purposes of this rezoning request, Parcel No. 193-211-02 is divided into three lots, which are designated as Lot 1, Lot 2 and Lot 3 on the Rezoning Plan. Lot 1 and Lot 2 are subject to the Rezoning Petition filed by QuikTrip Corporation, and Lot 3 is not part of this rezoning request.</p> <p>3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Town of Matthews Zoning Ordinance (the "Ordinance") for the B-2 zoning district shall govern the use and development of that portion of the Site designated as Lot 1 on the Rezoning Plan.</p> <p>4. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the I-1 zoning district shall govern the use and development of that portion of the Site designated as Lot 2 on the Rezoning Plan.</p> <p>5. The exact locations of the building, canopy and parking areas to be constructed on Lot 1 have not been determined. Petitioner, therefore, reserves the flexibility to make adjustments to the precise locations of these improvements shown on the Rezoning Plan during the design, development and construction phases. However, the placement of these improvements shall be generally consistent with the locations depicted on the Rezoning Plan and they shall satisfy all Ordinance standards.</p> <p>6. The number, location, size and height of the buildings to be located on Lot 2, as well as the location of the parking areas and other improvements shall be governed by the standards and regulations set out in the Ordinance.</p>				<p>Maximum Gross Floor Area</p> <p>1. The maximum gross floor area of the building to be located on Lot 1 shall be 6,500 square feet. The area under the canopy to be located over the gas pumps shall not be included in the calculation of gross floor area.</p> <p>2. The total maximum allowed gross floor area of the building(s) to be located on Lot 2 shall be governed by the standards of the Ordinance.</p>				<p>Parking</p> <p>1. Off-street parking shall be provided on the Site in accordance with the requirements of the Ordinance.</p> <p>2. Parking areas shall comply with the interior landscaping requirements of the Ordinance.</p>				<p>Signs</p> <p>1. All signs installed on the Site shall comply with the requirements of the Ordinance. The signs depicted on the schematic architectural renderings set out on Sheet RZ-3 of the Rezoning Plan are illustrative only. All signs installed on the Site shall be separately permitted.</p> <p>2. Petitioner or any successor owner of the Site may pursue the approval of a Master Sign Plan pursuant to the terms of the Ordinance.</p>			
P	<p>Permitted Uses</p> <p>A. <u>Lot 1</u></p> <p>1. That portion of the Site designated as Lot 1 on the Rezoning Plan may only be devoted to a retail mini-market with gasoline pump sales, and to any accessory uses relating thereto that are allowed in the B-2 zoning district.</p> <p>2. The maximum number of multiple product dispensers permitted on Lot 1 shall be 10 and the maximum number of pumps shall be 20.</p> <p>3. A car wash may not be located on Lot 1.</p> <p>B. <u>Lot 2</u></p> <p>1. That portion of the Site designated as Lot 2 on the Rezoning Plan may be devoted to any use or uses (including any accessory uses) allowed by right or under prescribed conditions in the I-1 zoning district, provided, however, that the following uses shall not be permitted on Lot 2:</p> <ul style="list-style-type: none"> • Arboretum • Colleges and universities • Farms, either in conjunction with or separate from dwellings, which may conduct retail sales of products produced on the premises • Fraternal organizations • Golf courses, public and private, for daytime use only • Parks and playgrounds, operated on a noncommercial basis for purposes of public recreation • Trailer, overnight camping (stored unoccupied on a lot) • Trailer, overnight camping (within an overnight camping trailer park) • Armories for meetings and training of military organizations • Cafeterias • Civic organizations • Commercial schools and schools providing adult training in any of the arts, sciences, trades, and professions • Contractors' offices, excluding accessory storage • Fertilizer, packaged retail sales • Frozen food lockers • Funeral homes and crematories • Government office buildings and public utility office buildings such as telephone exchanges and similar uses • Laundries and dry cleaning establishments not to exceed 4,500 square feet of gross floor area • Mall order houses • Marinas • Mobile home sales • Social and social service organizations • Tourist homes • Trailers, overnight camping, retail and wholesale sales, rental and repair • Vending machines, located out-of-doors, subject to yard and setback requirements • Blacksmith shops • Book binding • Bottling and canning works for soft drinks • Car washes • Commercial outdoor amusement, such as miniature golf, rides, slides, commercial beaches, and similar commercial enterprises • Crating services • Laundries and dry cleaning plants • Packing sheds, fruit and vegetable • Radio and television stations and/or offices • Railroad right of way • Telephone booths • Trailer park, overnight camping • Hellport, medically-related • Clairvoyant entertainment business 				<p>Setbacks and Yards</p> <p>The development of the Site shall satisfy or exceed the setback, rear yard and side yard requirements of the Ordinance.</p>				<p>Access</p> <p>1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of each vehicular access point are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the North Carolina Department of Transportation and/or the Town of Matthews.</p> <p>2. The private street or drive (the "Private Street") located along the southern boundary line of the Site that will provide vehicular and pedestrian access to and from the Site (Lot 1 and Lot 2) is not located on the Site. Petitioner shall secure an easement to utilize the Private Street for vehicular and pedestrian access to and from the Site, and Petitioner shall provide a copy of the easement agreement to the Town of Matthews Planning Department.</p>				<p>Environmental</p> <p>The proposed retail mini-market with gasoline pump sales on Lot 1 shall comply with the Federal Stage (Phase) 1 EVR Regulations, and any applicable successor or substitute regulations.</p> <p>Screening and Landscaping</p> <p>Screening and landscaping shall conform to the standards of the Ordinance.</p> <p>CATS</p> <p>Prior to the Issuance of a certificate of occupancy for any new building constructed on the Site, Petitioner shall construct a ten foot bus passenger waiting pad as depicted on the Rezoning Plan.</p>			
N					<p>Streetscape Treatment/Sidewalk</p> <p>1. The streetscape treatment along the Site's frontage on Monroe Road shall comply with the requirements of the Ordinance.</p> <p>2. The existing sidewalk located along the Site's frontage on Monroe Road shall remain in place.</p> <p>3. To enhance the appearance of the Site as viewed from Monroe Road, Petitioner shall install those streetscape improvements along the Site's frontage on Monroe Road that are more particularly depicted on Sheet RZ-2 of the Rezoning Plan. These streetscape improvements shall include trees, shrubs and a screen wall. The types of trees and shrubs and the screen wall materials are specified on Sheet RZ-2 of the Rezoning Plan.</p> <p>4. Petitioner shall install a planting strip and a sidewalk along Lot 1's frontage on the Private Street as depicted on Sheet RZ-2 of the Rezoning Plan.</p>				<p>Architectural Standards</p> <p>A. <u>Lot 1</u></p> <p>1. The maximum height of the building to be constructed on Lot 1 shall be 25 feet.</p> <p>2. The maximum height of the canopy to be located over the gas pumps on Lot 1 shall be 25 feet.</p> <p>3. Set out on Sheet RZ-3 of the Rezoning Plan are schematic architectural renderings of the building to be constructed on Lot 1 that will contain the retail mini-market that are intended to depict the general conceptual architectural style and character of this building. Accordingly, the building to be constructed on Lot 1 that will contain the retail mini-market shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural renderings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.</p> <p>4. The exterior building materials for the building to be constructed on Lot 1 that will contain the retail mini-market are listed on the schematic architectural renderings of such building set out on Sheet RZ-3 of the Rezoning Plan.</p> <p>5. At least 80 percent of each facade of the building that will contain the retail mini-market below the roofline shall be composed of brick, stone, pre-cast concrete or similar masonry products, architectural tile or a combination thereof. "Each facade below the roofline" is defined as the entire exterior surface area below the roofline excluding windows, doors and trim, so that windows, doors and trim are not considered when calculating the minimum percentage of material required.</p> <p>6. Set out on Sheet RZ-3 of the Rezoning Plan are schematic architectural renderings of the canopy to be constructed over the gas pumps to be installed on Lot 1 that are intended to depict the general conceptual architectural style and character of the canopy. Accordingly, the canopy to be constructed over the gas pumps to be installed on Lot 1 shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural renderings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.</p> <p>7. The exterior building materials for the canopy to be constructed over the gas pumps to be installed on Lot 1 are listed on the schematic architectural renderings of such canopy set out on Sheet RZ-3 of the Rezoning Plan.</p> <p>8. The dumpster and recycling area will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.</p>				<p>Binding Effect of the Rezoning Documents and Definitions</p> <p>1. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.</p> <p>2. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.</p>			
M																
L																
K																
J																
H																
G																
F																
E																
D																
C																
B																
A																

PROJECT NO.: 13-040



1315-W. Central Ave. P. 704.334.3303
Charlotte, NC 28205 F. 704.334.3305
urbanpartners.com

QuikTrip No. 1028

10701 MONROE ROAD
MATTHEWS, NC



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PROTOTYPE: P-75 (5/01/13)
DIVISION:
VERSION: 001
DESIGNED BY: UOP
DRAWN BY: UOP
REVIEWED BY: JCP

	REV	DATE	DESCRIPTION
			PREPARE COMMENTS

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
DEVELOPMENT NOTES

SHEET NUMBER:
RZ-4



QuikTrip.

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store #	1028	View from West Corner		Address:		10701 Monroe Road		City, State:		Matthews, NC	
Serial #	81-1028-PE09	Scale:	NTS	Issue Date:	08/10/13	Drawn By:	CDC	Rev/Notes:	12/19/13	<small>COPYRIGHT © 2011 QUIKTRIP CORPORATION DESIGN PATENTS QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA, OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.</small>	



QuikTrip.

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store #

1028

View from South Corner

Address:

10701 Monroe Road

City, State:

Matthews, NC

Serial #

81-1028-PE11

Scale:

NTS

Issue Date:

08/10/13

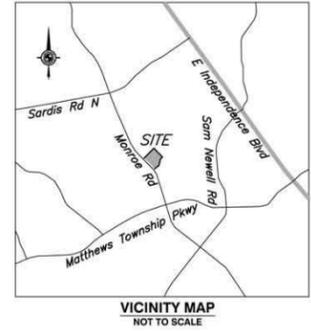
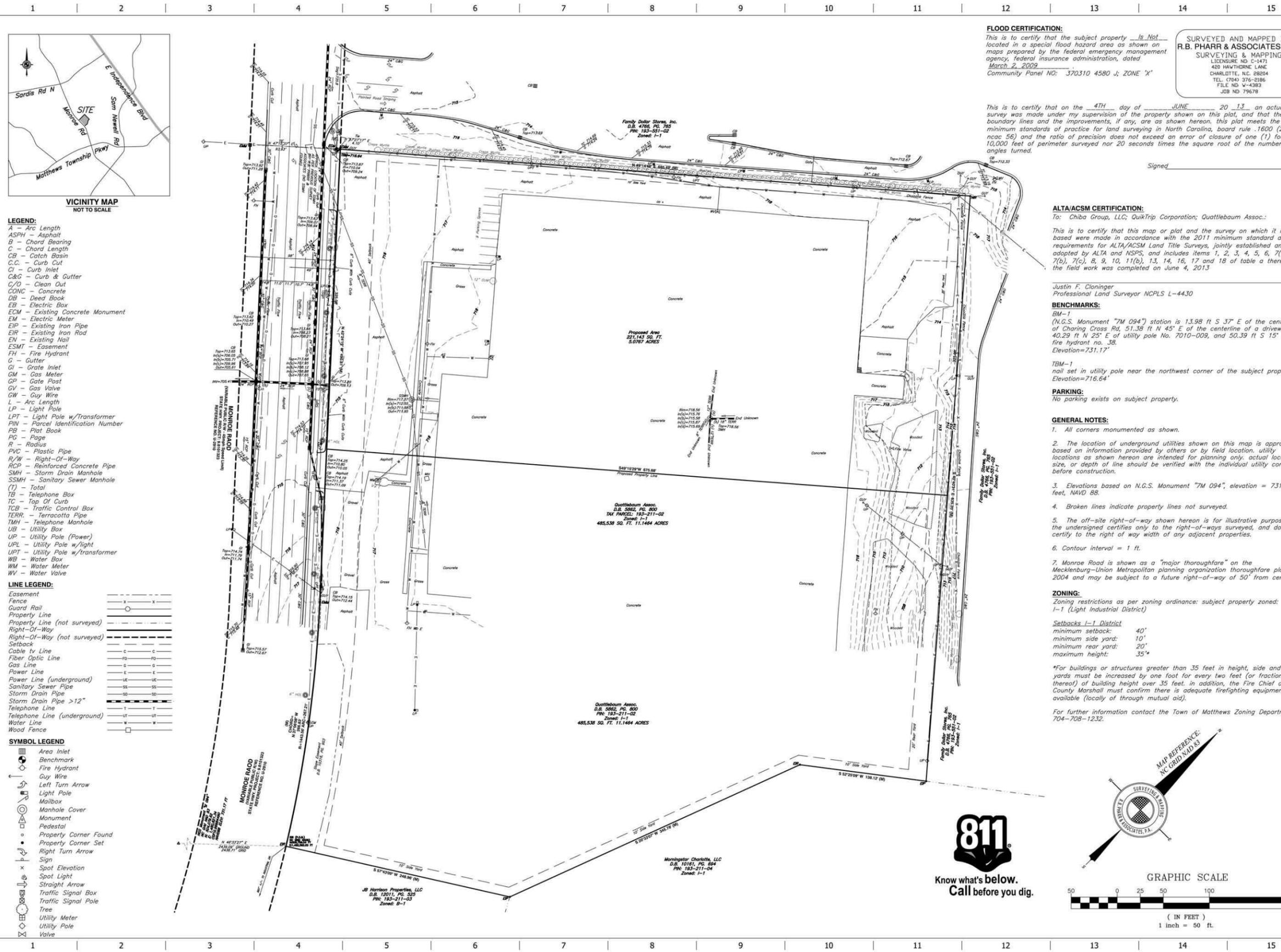
Drawn By:

CDC

Rev/Notes:

12/19/15 REVISED LANDSCAPE & ADDED SCREEN WALL

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- LEGEND:**
- A - Arc Length
 - ASPH - Asphalt
 - B - Chord Bearing
 - C - Chord Length
 - CB - Catch Basin
 - C.C. - Curb Cut
 - CI - Curb Inlet
 - C&G - Curb & Gutter
 - C/O - Clean Out
 - CONC - Concrete
 - DB - Deed Book
 - EB - Electric Box
 - ECM - Existing Concrete Monument
 - EM - Electric Meter
 - EIP - Existing Iron Pipe
 - EIR - Existing Iron Road
 - EN - Existing Nail
 - ESMT - Easement
 - FH - Fire Hydrant
 - G - Gutter
 - GI - Grate Inlet
 - GM - Gas Meter
 - GP - Gate Post
 - GV - Gas Valve
 - GW - Guy Wire
 - L - Arc Length
 - LP - Light Pole
 - LPT - Light Pole w/Transformer
 - PIW - Parcel Identification Number
 - PB - Plat Book
 - PG - Page
 - R - Radius
 - PVC - Plastic Pipe
 - RYW - Right-Of-Way
 - RCP - Reinforced Concrete Pipe
 - SMH - Storm Drain Manhole
 - SSMH - Sanitary Sewer Manhole
 - (T) - Total
 - TB - Telephone Box
 - TC - Top Of Curb
 - TCB - Traffic Control Box
 - TERR - Terracotta Pipe
 - TMH - Telephone Manhole
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 - URL - Utility Pole w/light
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 - Utility Pole
 - Valve

FLOOD CERTIFICATION:
 This is to certify that the subject property is Not located in a special flood hazard area as shown on maps prepared by the federal emergency management agency, federal insurance administration, dated March 2, 2009
 Community Panel NO: 370310 4580 J; ZONE 'X'

SURVEYED AND MAPPED BY:
R.B. PHARR & ASSOCIATES, P.A.
 SURVEYING & MAPPING
 LICENSE NO. C-1471
 420 HAWTHORNE LANE
 CHARLOTTE, N.C. 28254
 TEL. (704) 376-2186
 FILE NO. W-4383
 JOB NO. 79678

This is to certify that on the 4TH day of JUNE, 2013, an actual survey was made under my supervision of the property shown on this plat, and that the boundary lines and the improvements, if any, are as shown hereon, this plat meets the minimum standards of practice for land surveying in North Carolina, board rule .1600 (21 ncar 56) and the ratio of precision does not exceed an error of closure of one (1) foot per 10,000 feet of perimeter surveyed nor 20 seconds times the square root of the number of angles turned.

Signed _____

ALTA/ACSM CERTIFICATION:
 To: Chiba Group, LLC; QuikTrip Corporation; Quattlebaum Assoc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 minimum standard detail requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 7(a), 7(b), 7(c), 8, 9, 10, 11(b), 13, 14, 16, 17 and 18 of table a thereof. The field work was completed on June 4, 2013.

Justin F. Cloninger
 Professional Land Surveyor NCLPS L-4430

BENCHMARKS:
 BM-1
 (N.G.S. Monument "7M 094") station is 13.98 ft S 37° E of the centerline of Charing Cross Rd, 51.38 ft N 45° E of the centerline of a driveway, 40.29 ft N 25° E of utility pole No. 7010-009, and 50.39 ft S 15° E of fire hydrant no. 38.
 Elevation=731.17'

TBM-1
 nail set in utility pole near the northwest corner of the subject property.
 Elevation=716.64'

PARKING:
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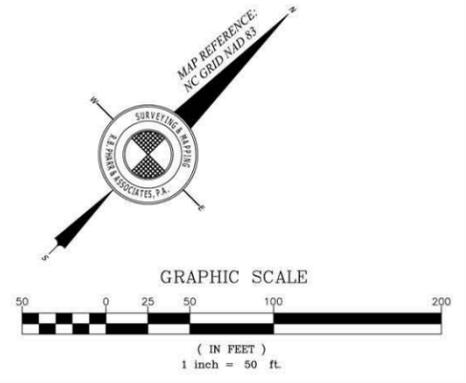
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 - The off-site right-of-way shown hereon is for illustrative purposes only. the undersigned certifies only to the right-of-ways surveyed, and does not certify to the right of way width of any adjacent properties.
 - Contour interval = 1 ft.
 - Monroe Road is shown as a "major thoroughfare" on the Mecklenburg-Union Metropolitan planning organization thoroughfare plan of 2004 and may be subject to a future right-of-way of 50' from centerline.

ZONING:
 Zoning restrictions as per zoning ordinance: subject property zoned: I-1 (Light Industrial District)

Setbacks I-1 District
 minimum setback: 40'
 minimum side yard: 10'
 minimum rear yard: 20'
 maximum height: 35'

*For buildings or structures greater than 35 feet in height, side and rear yards must be increased by one foot for every two feet (or fraction thereof) of building height over 35 feet. in addition, the Fire Chief or County Marshall must confirm there is adequate firefighting equipment available (locally of through mutual aid).

For further information contact the Town of Matthews Zoning Department at 704-708-1232.



PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCE OR SALES

PROJECT NO.: 79678 W-4383

QuikTrip No. 1028
10701 MONROE ROAD
TOWN OF MATTHEWS, MECKLENBURG COUNTY, N.C.



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PROTOTYPE: P-74 (2/01/13)
 DIVISION:
 VERSION: 001
 DESIGNED BY:
 DRAWN BY: NM
 REVIEWED BY: JFC

REV.	DATE	DESCRIPTION

SHEET TITLE:
SURVEY PLAN

SHEET NUMBER:
RZ-1

ORIGINAL ISSUE DATE: 10-04-2013



1028 View from West Corner 10701 Monroe Road Matthews, NC
81-1028-PC09 NTS 08/10/13 CDC

SITE PERSPECTIVE (FROM NORTH CORNER)

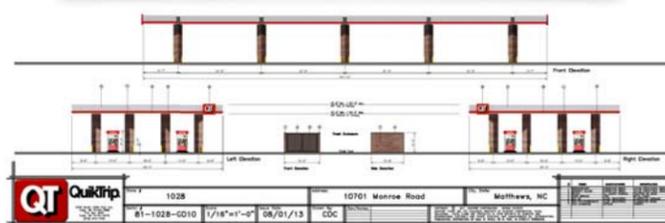


BUILDING ELEVATIONS



1028 View from Monroe Road 10701 Monroe Road Matthews, NC
81-1028-PE10 NTS 08/10/13 CDC

SITE PERSPECTIVE (FROM MONROE ROAD)



PUMP CANOPY ELEVATIONS



1028 Aerial View from West Corner 10701 Monroe Road Matthews, NC
81-1028-SP01 NTS 08/10/13 CDC

SITE PERSPECTIVE (AERIAL)



1028 View from South Corner 10701 Monroe Road Matthews, NC
81-1028-PE11 NTS 08/10/13 CDC

SITE PERSPECTIVE (FROM SOUTH CORNER)

PROJECT NO.: 13-040

URBAN DESIGN PARTNERS
1315-W Central Ave. P. 704.334.3303
Charlotte, NC 28205 F. 704.334.3305
urban@designpartners.com

QuikTrip No. 1028
10701 MONROE ROAD
MATTHEWS, NC

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PROTOTYPE: P-75 (5/01/13)
DIVISION:
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY: JCP

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 10-04-2013

SHEET TITLE:
BUILDING ELEVATIONS AND PERSPECTIVES

SHEET NUMBER:

RZ-3

NOTE: IMAGES ARE ILLUSTRATIVE ONLY



Store # 1028

Address: 10701 Monroe Road

City, State: Matthews, NC

Serial # 81-1028-BSTI

Scale: 1/16" = 1'-0"

Issue Date: 08/01/13

Drawn By: CDC

Rev/Notes:

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FINISH	MANUFACTURER	SPECIFICATION
1 BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2 MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3 BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
4 QT BROWN	SHERWIN WILLIAMS	PAINT
5 QT RED	LANE	STANDING SEAM AWNING
6 RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
7 DARK BRONZE	LANE	METAL/PAINT
8 HLZ ALUMINUM	ALPOLC	FASCIA
9 IDB-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
10 QT-50R	ALLEN INDUSTRIES	SIGNAGE
11 MP04 - RADIANT IRON	DAL TILE	PORCELAIN TILE



QuikTrip.

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

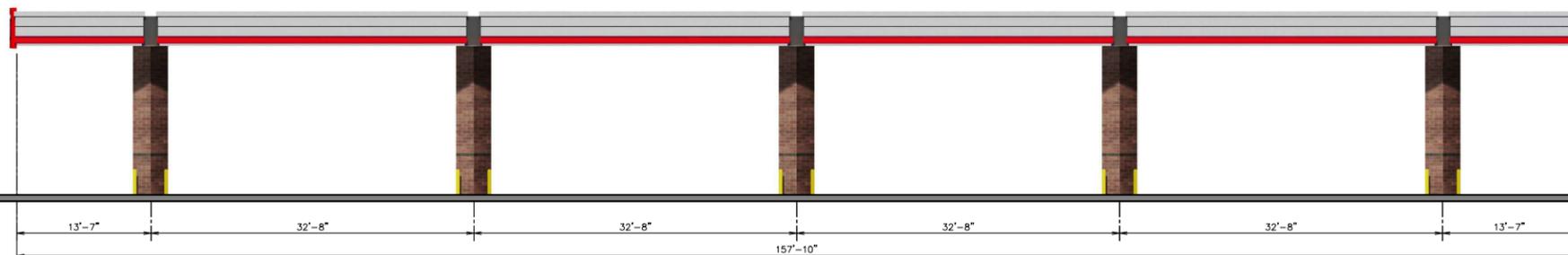
Store #	1028	View from Monroe Road		Address:		10701 Monroe Road		City, State:		Matthews, NC	
Serial #	81-1028-PE10	Scale:	NTS	Issue Date:	08/10/13	Drawn By:	CDC	Rev/Notes:			
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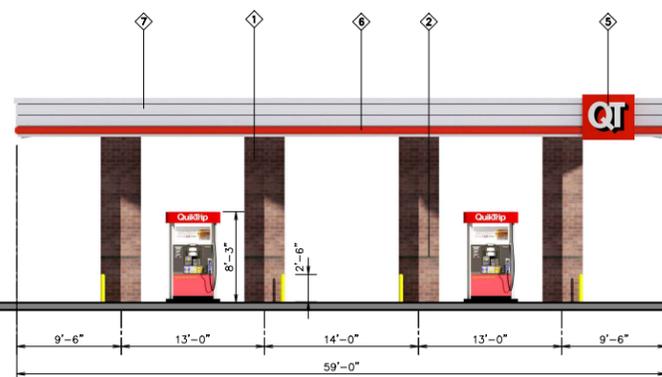
QuikTrip.

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

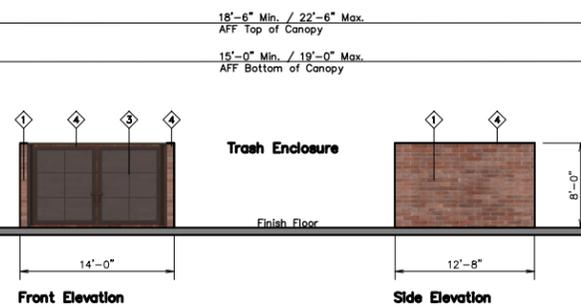
Store #	1028	View from South Corner		Address:		10701 Monroe Road		City, State:		Matthews, NC	
Serial #	81-1028-PE11	Scale:	NTS	Issue Date:	08/10/13	Drawn By:	CDC	Rev/Notes:			
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Front Elevation

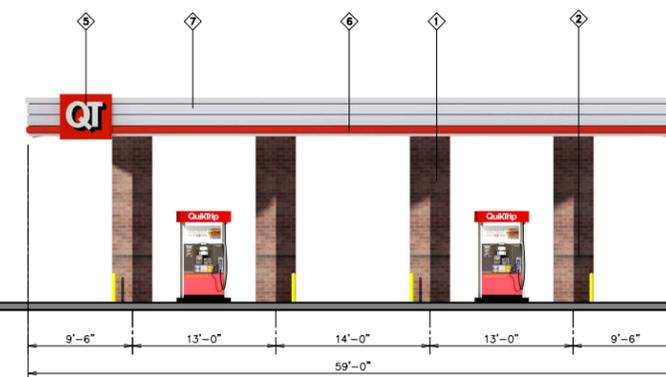


Left Elevation



Front Elevation

Side Elevation



Right Elevation



Store # 1028

Serial # 81-1028-GD10

Scale: 1/16"=1'-0"

Issue Date: 08/01/13

Drawn By: CDC

Rev/Notes:

Address: 10701 Monroe Road

City, State: Matthews, NC

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①	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
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4	PARK BRONZE	CANE	METAL/PAINT
5	IPC-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
6	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
7	11/2" ALUMINUM	ALPOLIC	CANOPY

