



DATE FILED	<u>7-1-15</u>
APPLICATION NUMBER	<u>2015-632</u>
<i>For office use only</i>	

**APPLICATION FOR CHANGE IN ZONING CLASSIFICATION  
OR CHANGE IN CONDITIONS  
(SEE FILING INSTRUCTIONS)**

TO: Town of Matthews Board of Commissioners  
Town of Matthews Planning Board  
232 Matthews Station Street  
Matthews, North Carolina 28105-6713

Ladies and Gentlemen:

Your consideration of this petition is requested for:

- A change in zoning classification of the property hereinafter described; or
- A change in conditions to an existing conditional zoning plan.

Tax parcel number(s): 193-243-07

Address of property: 720 Park Center Drive

Location of property: West side of Park Center Drive between Matthews Township Parkway and North Ames Street

Title to the property was acquired on April 19, 2007

and was recorded in the name of Matthews Parkway Corporate Center, LLC.

whose mailing address is P.O. Box 12571, Charlotte, NC 28220

The deed is recorded in Book 22091 and Page 484 in the office of the Register of Deeds for Mecklenburg County.

Present zoning classification: I-1

Requested zoning classification: O (CD)

Application number  
**2015-032**  
For office use only

List reason(s) why zoning should be changed (use separate sheet if necessary):

The Petitioner is requesting that this approximately 1.2 acre site be rezoned to the O (CD) zoning district to accommodate the development of a child day care facility on the site that would serve a maximum of 185 children.

**Matthews Parkway Corporate Center, LLC**

X

By:   
Signature of property owner (must be original)

Signature of property owner (must be original)

Matthews Parkway Corporate Center, LLC  
Print name of property owner

Print name of property owner

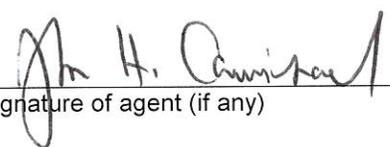
P.O. Box 12571.  
Property owner's mailing address

Property owner's mailing address

Charlotte, NC 28220  
Property owner's mailing address, continued

704-526-2180/blanton@insiteprops.com  
Property owner's phone number/email address

Property owner's phone number/email address

  
Signature of agent (if any)

**Primrose School Franchising Company**  
By:   
Petitioner other than owner (if any)

John Carmichael, Robinson Bradshaw  
Print name of agent

Primrose School Franchising Company  
Print name of petitioner

101 North Tryon Street, Suite 1900  
Agent's mailing address

c/o Ted Tillman  
Petitioner's mailing address

Charlotte, NC 28246  
Agent's mailing address, continued

3660 Cedarcrest Road  
Petitioner's mailing address, continued

Agent's mailing address, continued

Acworth, GA 30101  
Petitioner's mailing address, continued

704-377-8341 jcarmichael@rbh.com  
Agent's phone number/email address

770-799-5525/TTillman@PrimroseSchools.com  
Petitioner's phone number/email address

**List all tax parcel numbers, names, and mailing addresses of all property owners subject to notification of this zoning application. Attach additional sheets if necessary.**

See item #7 in instruction sheet titled "Instructions for Filing an Application for a Change in Zoning Classification or Change in Conditions for Property located in the Town of Matthews."

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See Exhibit A Attached Hereto  
TAX PARCEL

TAX PARCEL

PROPERTY OWNER NAME(S)

PROPERTY OWNER NAME(S)

OWNER MAILING ADDRESS

OWNER MAILING ADDRESS

OWNER MAILING ADDRESS, CONTINUED

OWNER MAILING ADDRESS, CONTINUED

TAX PARCEL

TAX PARCEL

PROPERTY OWNER NAME(S)

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OWNER MAILING ADDRESS

OWNER MAILING ADDRESS

OWNER MAILING ADDRESS, CONTINUED

OWNER MAILING ADDRESS, CONTINUED

TAX PARCEL

TAX PARCEL

PROPERTY OWNER NAME(S)

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OWNER MAILING ADDRESS

OWNER MAILING ADDRESS, CONTINUED

OWNER MAILING ADDRESS, CONTINUED

TAX PARCEL

TAX PARCEL

PROPERTY OWNER NAME(S)

PROPERTY OWNER NAME(S)

OWNER MAILING ADDRESS

OWNER MAILING ADDRESS

OWNER MAILING ADDRESS, CONTINUED

OWNER MAILING ADDRESS, CONTINUED

Application number  
2015-632  
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**SUMMARY OF THE REZONING PROCESS**

*PETITIONER:* Fill in dates for each action below before filing application. Refer to the current Planning Department rezoning schedule for correct dates.

*PROPERTY OWNERS:* These dates are assumed to be correct at the time of zoning application submittal but are subject to revision. Contact the Planning Department (704-847-4411, extension 224) for verification.

Application submitted to and accepted by the Town of Matthews July 1, 2015

Town Board of Commissioners formally accepts application and sets Public Hearing date July 13, 2015

Notices sent via mail to affected/adjacent property owners on or before August 31, 2015

Protest petition filed with Planning Department by 5:00 pm on September 9, 2015

Public hearing: petitioner may give explanation of why s/he wishes to have property rezoned and neighboring owners may ask questions and voice opinions on the proposed zoning September 14, 2015

Town Planning Board reviews petition, information, and comments from the public hearing, then makes a recommendation to the Board of Commissioners on whether to approve or deny the request September 22, 2015

Town Board of Commissioners approves or denies application October 12, 2015

**GENERAL STATUTE 160A-385: CHANGES.**

- (a) Zoning ordinances may from time to time be amended, supplemented, changed, modified or repealed. In case, however, of a qualified protest against a zoning map amendment, that amendment shall not become effective except by favorable vote of three-fourths of all the members of the city council. For the purposes of this subsection, vacant positions on the council and members who are excused from voting shall not be considered "members of the council" for calculation of the requisite supermajority. To qualify as a protest under this section, the petition must be signed by the owners of either (i) twenty percent (20%) or more of the area included in the proposed change or (ii) five percent (5%) of a 100-foot wide buffer extending along the entire boundary of each discrete or separate area proposed to be rezoned. A street right of way shall not be considered in computing the 100-foot buffer area as long as that street right of way is 100 feet wide or less. When less than an entire parcel of land is subject to the proposed zoning map amendment, the 100-foot buffer shall be measured from the property line of that parcel. In the absence of evidence to the contrary, the city may rely on the county tax listing to determine the "owners" of potentially qualifying areas. The foregoing provisions concerning protests shall not be applicable to any amendment which initially zones property added to the territorial coverage of the ordinance as a result of annexation or otherwise, or to an amendment to an adopted (i) special use district, (ii) conditional use district, or (iii) conditional district if the amendment does not change the types of uses that are permitted within the district or increase the approved density for residential development, or increase the total approved size of nonresidential development, or reduce the size of any buffers or screening approved for the special use district, conditional use district, or conditional district.
- (b) Amendments in zoning ordinances shall not be applicable or enforceable without consent of the owner with regard to buildings and uses for which either (i) building permits have been issued pursuant to GS 160A-417 prior to the enactment of the ordinance making the change or changes so long as the permits remain valid and unexpired pursuant to GS 160A-418 and unrevoked pursuant to GS 160A-422 or (ii) a vested right has been established pursuant to GS 160A-385.1 and such vested right remains valid and unexpired pursuant to GS 160A-385.1.

**EXHIBIT A**

Matthews Parkway Corporate Center LLC 100' adjoining land owners

Parcel No. 193-243-05

OCRE I LLC  
2701 Coltsgate Blvd, Suite 300  
Charlotte, NC 28211

Parcel No. 193-243-04

Green Shirt LLC  
10220 Scott Gate Ct  
Charlotte, NC 28277

Parcel No. 193-243-03

Mary C. Hulse Family Limited Partnership  
c/o Matthews Building Supply Co  
PO Box 607  
Matthews, NC 28105

Parcel No. 193-243-02

Mary C. Hulse Family Limited Partnership  
c/o Matthews Building Supply Co  
PO Box 607  
Matthews, NC 28105

Parcel No. 193-243-01

Mary C. Hulse Family Limited Partnership  
c/o Matthews Building Supply Co  
PO Box 607  
Matthews, NC 28105

Parcel No. 193-243-06

Morningstar Office LLC  
c/o Morningstar Properties LLC  
725 Park Center Drive  
Matthews, NC 28105

Parcel No. 193-271-01

Steven H. Knickerbocker  
Kathy A. Babula  
344 N Ames Street  
Matthews, NC 28105-5840

Parcel No. 193-271-02

Jack Reed Dailey, Jr.  
338 North Ames Street  
Matthews, NC 28105

Parcel No. 193-271-03

Kathrin E. Rowan  
PO Box 572  
Matthews, NC 28106-0572

Parcel No. 193-271-04

Bonnie M. Fields  
324 North Ames Street  
Matthews, NC 28105-5640

Parcel No. 193-271-46

Matthews Lofts LLC  
PO Box 578  
Matthews, NC 28106

Parcel No. 193-271-47

Matthews Lofts LLC  
PO Box 578  
Matthews, NC 28106

Parcel No. 193-271-51

Matthews Lofts LLC  
PO Box 578  
Matthews, NC 28106

Parcel No. 193-271-45

Heer Bryant Eat LLC  
628 Olmstead Place Park  
Charlotte, NC 28203

Parcel No. 193-271-50

Park Center Holdings LLC  
PO Box 578  
Matthews, NC 28106

Parcel No. 193-271-49

Park Center Holdings LLC  
PO Box 578  
Matthews, NC 28106

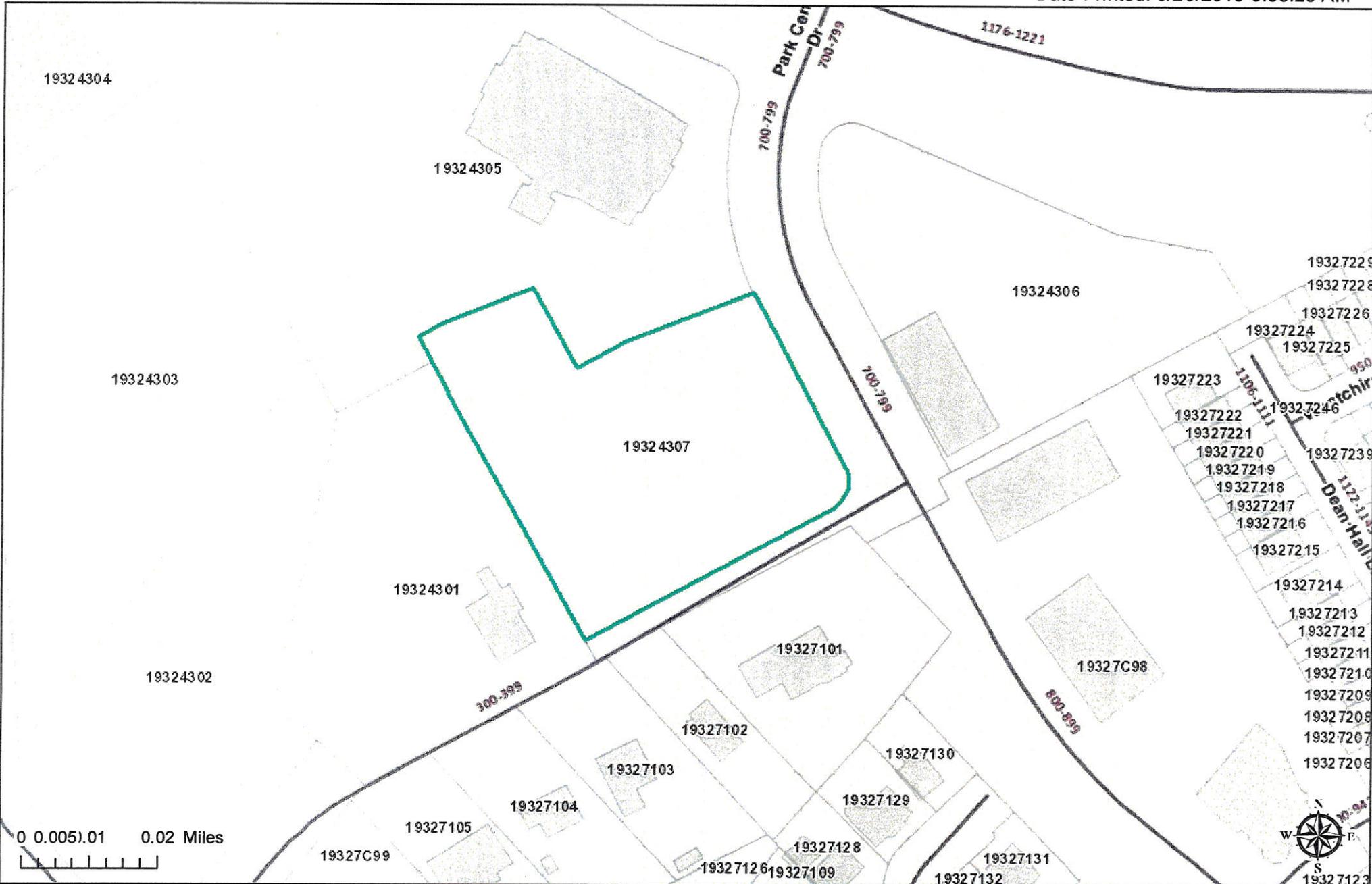
Parcel No. 193-271-48

Matthews Gateway II LLC  
PO Box 578  
Matthews, NC 28106

# Polaris 3G Map – Mecklenburg County, North Carolina Site

2015-632  
07-01-2015

Date Printed: 6/29/2015 9:58:23 AM



2015-632

This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.



John H. Carmichael  
Charlotte Office  
704.377.8341 Direct Phone  
704.373.3941 Direct Fax  
jcarmichael@rbh.com  
rbh.com

July 1, 2015

**VIA HAND DELIVERY**

Ms. Kathi Ingrish, Planning Director  
Town of Matthews  
232 Matthews Station Street  
Matthews, NC 28105

Re: Rezoning Application filed by Primrose School Franchising Company Requesting the Rezoning of an Approximately 1.2 Acre Site Located on the West Side of Park Center Drive Between Matthews Township Parkway and North Ames Street from the I-1 zoning district to the O (CD) zoning district (Tax Parcel No. 193-243-07)

Dear Kathi:

I hope this letter finds you well.

This letter is being submitted with the above-captioned Rezoning Application pursuant to the requirements of Paragraph 13 of the Instructions for Filing an Application for a Change in a Zoning Classification (the "Instructions"). As you are aware, Paragraph 13 of the Instructions requires the Applicant to submit documentation regarding the land use recommendations for the subject site as set out in adopted land use plans and a statement as to how this rezoning proposal complies with such recommendations.

The subject site contains approximately 1.2 acres and it is located on the west side of Park Center Drive between Matthews Township Parkway and North Ames Street. The site is currently zoned I-1 and pursuant to this Rezoning Application, the Applicant is requesting that the site be rezoned to the O (CD) zoning district. Although the primary purpose of this rezoning request is to accommodate the development and operation of a child day care facility on the site that could serve a maximum of 185 children, the conditional rezoning plan relating to this Rezoning Application would also permit all office and service uses and all general commercial uses allowed in the O zoning district to be developed on the site.

Under the Town of Matthews Land Use Plan 2012-2022 (the "Land Plan"), the site is located in the Matthews Township Parkway portion of the NC 51 corridor. Although the Land Plan does not appear to make any specific land use recommendations for the site, the Land Plan does provide that mixed use developments and planned business parks should be promoted along the Matthews Township Parkway portion of NC Highway 51. The site is located in a development that contains existing office buildings, and it is adjacent to Matthews Gateway, which is a mixed/multi-use development that contains residential, office and retail uses. Developing a child day care facility on the site would add another type of use to the development in which the site is located and create a multi-use project, and it would increase the diversity of uses in the area. The Land Plan also provides that rezonings in this area must complement

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Ms. Kathi Ingrish  
July 1, 2015  
Page 2

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adjacent land uses. The Applicant respectfully submits that a child day care facility would provide a service to the adjacent and nearby residential and business uses and complement such uses.

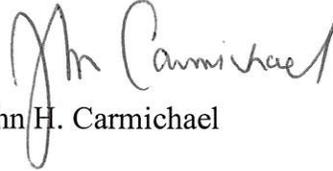
The site is also located within the Downtown Overlay District and is subject to the Matthews Downtown Plan (the "Downtown Plan"). More specifically, the site is located in the North End District of the Downtown Overlay District. The Downtown Plan designates the site as "Additional Office Space." However, a stated goal of the Downtown Plan is to encourage a diversity of uses in downtown Matthews. Therefore, the Applicant respectfully submits that a child day care facility on the site would be consistent with the goals of the Downtown Plan in terms of land use. Once again, as stated above, a child day care facility would provide a valuable service to residents and businesses in downtown Matthews, and this service could prove to be more beneficial to the Town as the number of residents and businesses in downtown Matthews continues to grow.

In the event that the site is developed with a use other than a child day care facility that is permitted under the conditional rezoning plan relating to this Rezoning Application, the Applicant respectfully submits that such uses could meet the goals and objectives of the Land Plan and the Downtown Plan.

The Applicant and I look forward to working with you on this rezoning request. Should you have any questions or comments, please do not hesitate to call me.

Sincerely,

ROBINSON BRADSHAW & HINSON, P.A.



John H. Carmichael

JHC1/lh

July 1, 2015

**VIA HAND DELIVERY**

Ms. Kathi Ingrish, Planning Director  
Town of Matthews  
232 Matthews Station Street  
Matthews, NC 28105

Re: Rezoning Application filed by Primrose School Franchising Company Requesting the Rezoning of an Approximately 1.2 Acre Site Located on the West Side of Park Center Drive Between Matthews Township Parkway and North Ames Street from the I-1 zoning district to the O (CD) zoning district (Tax Parcel No. 193-243-07)

Dear Kathi:

I hope this letter finds you well.

Kathi, it is the belief of Primrose School Franchising Company (the "Applicant") that a traffic impact analysis is not required to be submitted in connection with the above-captioned Rezoning Application based upon the criteria outlined in Section 10 of the Instructions for Filing an Application for a Change in a Zoning Classification or Change in Conditions for Property in the Town of Matthews. To the extent that the Applicant's belief is incorrect, the Applicant respectfully requests a waiver of the required traffic study for the reasons set out below.

Pursuant to this rezoning request, the Applicant seeks to downzone the site from the I-1 zoning district to the O (CD) zoning district for the primary purpose of accommodating the development and operation of a child day care facility on the subject site. The proposed child day care facility could serve a maximum of 185 children, and the maximum size of a building devoted to a child day care facility would be 14,500 square feet of gross floor area.

Under this rezoning request, if a child day care facility is not developed on the site, the site could be devoted to all office and service uses and/or all general commercial uses allowed in the O zoning district. However, the maximum size of a building devoted to a use or uses other than a child day care facility would be 20,000 square feet of gross floor area under the conditional rezoning plan relating to this Rezoning Application.

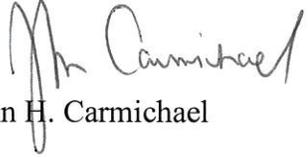
On behalf of the Applicant, we appreciate your consideration of this request.

Ms. Kathi Ingrish  
Mr. Bill Sherrill  
July 1, 2015  
Page 2

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Sincerely,

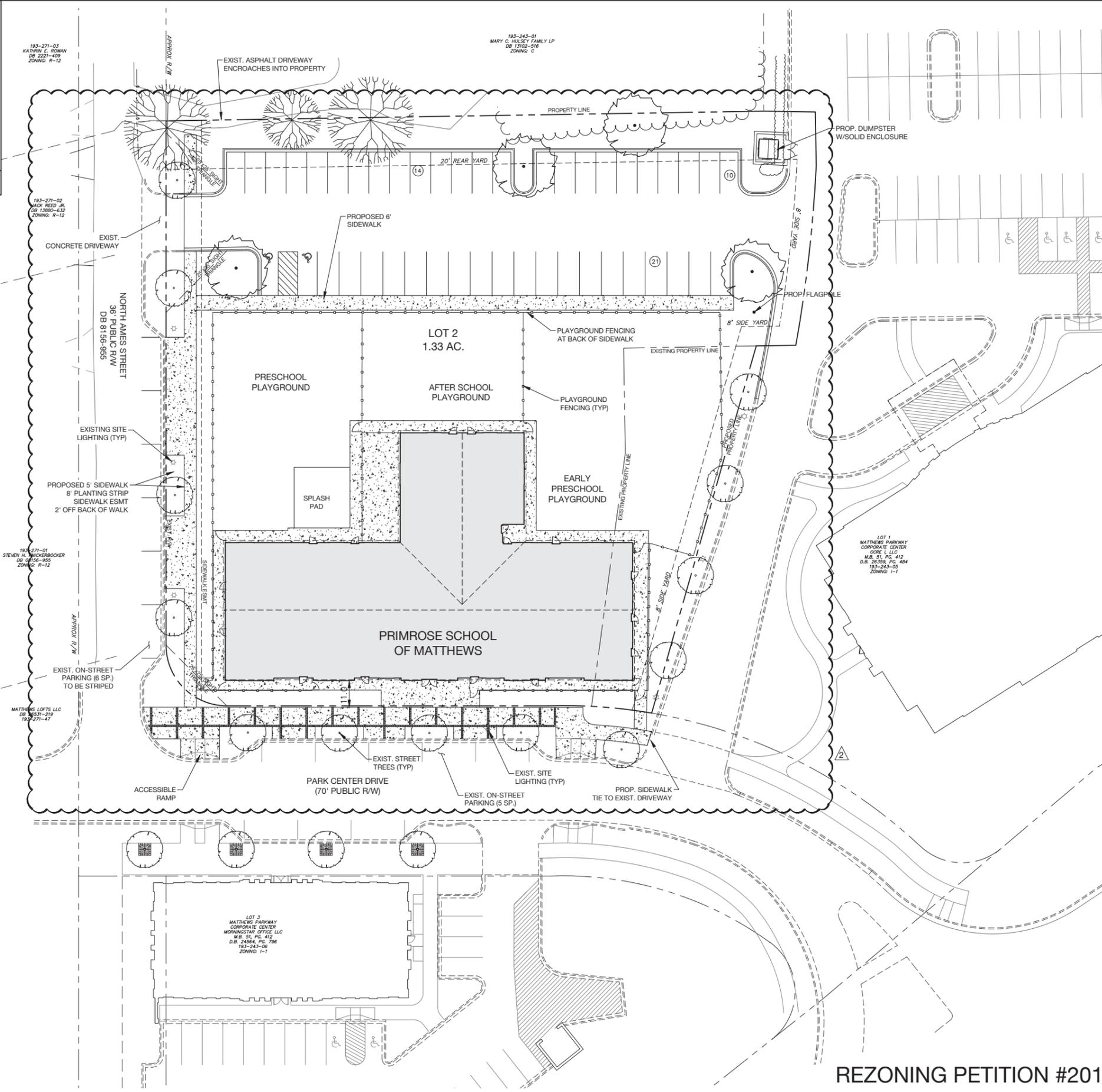
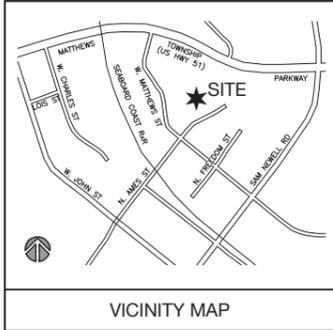
ROBINSON BRADSHAW & HINSON, P.A.



John H. Carmichael

JHC1/lh





**DEVELOPMENT SUMMARY**

TAX PARCEL ID #:	193-243-07
PORTION OF:	193-243-05
TOTAL SITE AREA:	4/-1.33 AC.
EXISTING ZONING:	I-1
PROPOSED ZONING:	O (CD)
PROPOSED USE:	CHILD DAY CARE & OTHER USES
SETBACKS:	
FRONT:	12'
SIDE:	8' & 6'
SIDE (CORNER):	10'
REAR:	20'
MAXIMUM BUILDING HEIGHT:	40'
VEHICULAR PARKING:	
REQUIRED:	1 SPACE/ 2 ADULT & 1 SPACE/10 CHILDREN
PROPOSED:	
SITE:	45
STREET:	11
BICYCLE PARKING:	
REQUIRED:	2
PROPOSED:	2
TREE CANOPY:	
REQUIRED:	6,220 SF (12%)
PROVIDED:	8,000 SF
PLAYGROUND AREA:	
REQUIRED:	185 MAX CHILDREN/2 = 93 CHILDREN 93 * 100 SF = 9,300 SF
PROVIDED:	16,500 SF



**URBAN DESIGN PARTNERS**

1318-e6 central ave. # 704.334.3303  
charlotte, nc 28205 # 704.334.3305  
urban@designpartners.com  
nc license no: P-0418

Children's Design Group  
Mark D. Pavey, A.I.A., Architect  
PO Box 1365  
Gulf Shores, AL 36547  
(334)-546-3624  
(206)-350-0593 Fax  
child.design@mindspring.com

Primrose School  
Franchising Company

Ted Tillman  
3860 Cedarcrest Road  
Acworth, GA 30101

# Primrose School of Matthews

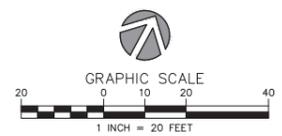
## Rezoning Plan

Ames Street, Matthews, NC

NO.	DATE	BY:	REVISIONS:
1	08.29.15	UDP	PER STAFF COMMENTS
2	12.08.15	UDP	ADD'L PROPERTY & ROTATE BLDG

Project No: 15-040  
Date: July 1, 2015  
Designed by: udp  
Drawn by: udp  
Scale: 1" = 20'  
Sheet No:

**RZ-2**



REZONING PETITION #2015-632



**URBAN  
DESIGN  
PARTNERS**

1318-e6 central ave. # 704.334.3303  
charlotte, nc 28205 # 704.334.3305  
urbandesignpartners.com  
nc license no: P-0418

Children's Design Group  
Mark D. Pavey, A.I.A., Architect  
PO Box 1365  
Gulf Shores, AL 36547  
(334)-546-3624  
(206)-350-0593 Fax  
child.design@mindspring.com

Primrose School  
Franchising Company

Ted Tillman  
3860 Cedarcrest Road  
Acworth, GA 30101

**Primrose School  
of Matthews**  
**Development Standards & Notes**  
Ames Street, Matthews, NC

NO.	DATE	BY	REVISIONS:
1	08/29/15	UDP	PER STAFF COMMENTS
2	12/08/15	UDP	ADP'L PROPERTY & ROTATE BLDG

Project No: 15-040  
Date: July 1, 2015  
Designed by: udp  
Drawn By: udp  
Scale: nts  
Sheet No:

**RZ-3**

GENERAL PROVISIONS

- A. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Application filed by Primrose School Franchising Company ("Applicant") for an approximately 1.33 acre site located on the west side of Park Center Drive between Matthews Township Parkway and North Ames Street, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site").
- B. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the Town of Matthews Unified Development Ordinance (the "Ordinance"). The regulations established under the Ordinance for the O zoning district shall govern the use and development of the Site.
- C. Subject to paragraph E under Architectural Standards, the location of any building to be constructed on the Site, other than a building devoted to a child day care facility as described below and the associated parking areas and other improvements, and the location of parking areas and other improvements shall be governed by the standards and regulations set out in the Ordinance.

PERMITTED USES

- A. The Site may be devoted to any use or uses that are permitted by right or under prescribed conditions in the O zoning district and to any incidental and accessory uses associated therewith that are allowed in the O zoning district.

DEVELOPMENT LIMITATIONS/MAXIMUM GROSS FLOOR AREA

- A. A child day care facility developed on the Site shall be subject to the following limitations:
  - (1) The maximum number of children that may be served on the Site shall be 185.
  - (2) The maximum size of a building devoted to a child day care facility shall be 14,500 square feet of gross floor area.
  - (3) A child day care facility shall comply with the applicable requirements of Section 155.506.6 of the Ordinance.
- B. The maximum size of a building devoted to a use or uses other than a child day care facility shall be 20,000 square feet of gross floor area.
- C. For purposes of the limitations set out above, "gross floor area" shall mean the total floor area enclosed within a building, including interior balconies, exclusive of mezzanines, stairways and elevator shafts.

DIMENSIONAL STANDARDS

- A. Development of the Site shall comply with the dimensional standards of the O zoning district and the Downtown Overlay District set out in the Ordinance.

TRANSPORTATION AND PARKING

- A. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access points are subject to any minor modifications required by the Town of Matthews.
- B. Vehicular parking shall be provided in accordance with the requirements of the Ordinance. Notwithstanding the foregoing, a minimum of 45 parking spaces shall be provided on the Site.

STREETSCAPE TREATMENT AND SIDEWALKS

- A. The streetscape treatment along the Site's public street frontages shall comply with the requirements of the Ordinance.
- B. Sidewalks shall be installed along the Site's public street frontages as depicted on the Rezoning Plan.
- C. A sidewalk easement shall be conveyed to the Town of Matthews for any portion of the public sidewalks that are located on the Site and outside of the right of way.

ARCHITECTURAL STANDARDS

- A. The maximum height of any building developed on the Site shall be 40 feet.
- B. Attached to the Rezoning Plan are conceptual architectural renderings of the front, side and rear elevations of the building to be constructed on the Site that will be devoted to a child day care facility that are intended to depict the general conceptual architectural style and character of the front, side and rear elevations of this building. Accordingly, the front, side and rear elevations of the building to be constructed on the Site that will be devoted to a child day care facility shall be designed and constructed so that such elevations are substantially similar in appearance to the relevant conceptual architectural renderings. Notwithstanding the foregoing, changes and alterations which do not materially change the overall conceptual architectural style and character shall be permitted.
- C. The primary exterior building materials used on a building devoted to a child day care facility will be a combination of portions of the following: brick, stone, precast stone, synthetic stone, cementitious siding (such as hardi-plank) and wood. Vinyl as a building material may only be used on windows, soffits, trim and shutters.
- D. A building devoted to a child day care facility shall have four sided architecture, such that the side and rear elevations of the building shall have the same exterior building materials as the front elevation and the same percentage brick as the front elevation.
- E. Prior to the issuance of a building permit for any building to be constructed on the Site that shall be devoted to a use or uses other than a child day care facility, the site plan and the building elevations for such building must be approved by the Matthews Board of Commissioners.

SCREENING

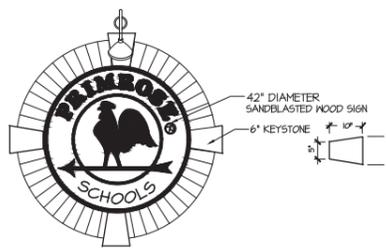
- A. Dumpster and recycling areas will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of the building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.

SIGNS

- A. All signs installed on the Site shall comply with the requirements of the Ordinance.

BINDING EFFECT OF THE REZONING APPLICATION

- A. If this Rezoning Application is approved, all conditions applicable to the development and/or use of the Site imposed under this Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Applicant and the current and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Applicant" and "owner" or "owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Applicant or the owner or owners of the Site from time to time who may be involved in any future development thereof.

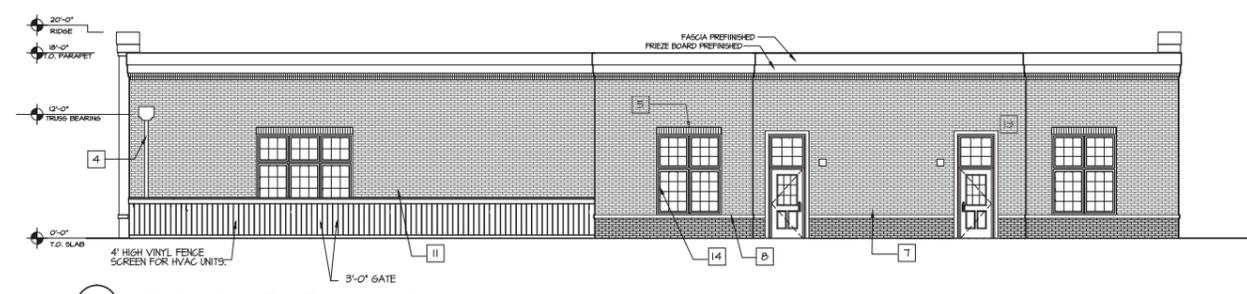


SIGN COLORS:  
ROOSTER, CIRCLES & TEXT = TATE OLIVE  
BACKGROUND = BEIGE  
(TOTAL SIGN AREA = 9.6 SQ. FT.)

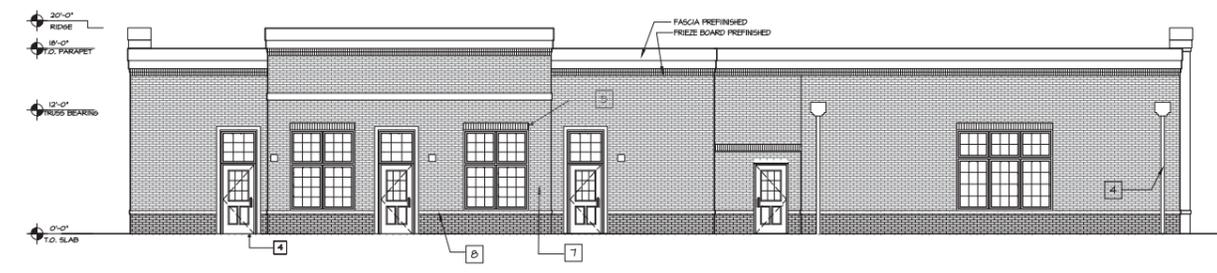
1 WALL MOUNTED LOGO SIGN  
1/2"=1'-0"

EXTERIOR COLOR SCHEDULE	
TRASH ENCLOSURE GATES (POST & HINGES)	RBH HC 112 TATE OLIVE (INDUSTRIAL ENAMEL EXTERIOR APPLICATION)
EXTERIOR I.D. TRIM EXTERIOR DOORS, FRAMES, LOUVERS, GUFOLA WALLS, GUTTERS AND AND DOWNSPOUTS, SOFFITS.	TO MATCH HARDIE TRIM SANDSTONE BEIGE JB80-20 (BM HC-82 or SH SH 615T)
EXTERIOR HARDIE TRIM FASCIA, FRIEZE	SANDSTONE BEIGE JB80-20 (BM HC-82 or SH SH 615T)
WINDOWS	BEIGE OR ALMOND ALUMINUM VINYL
BRICK:	BORAL CONCORD MODULAR GROUT: BUFF COLORED MORTAR
ASPHALT SHINGLES:	MANUF. GAF STYLE: TIMBERLINE NATURAL SHADOW LIFETIME WARRANTY COLOR: HEATHERED WOOD 56
NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR	
VINYL SHUTTERS	ARCHITECTURALDEPOT.COM - 14" JOINED SHUTTERS INSTALL SCREWS NICE STANDARD SIZE FOUR BOARD PREFINISHED #282 COLONIAL GREEN
STANDING SEAM ROOF:	AEP-SPAN SHAPSEAM - 12" COLOR = DARK BRONZE
STEEL ANNING SUPPORTS & WOOD BRACKETS:	RBH HC 112 TATE OLIVE (INDUSTRIAL ENAMEL EXTERIOR APPLICATION)
STONE:	LONESTAR STONE - LIBERTY CLASSIC - ALUMIN GROUT: BUFF COLORED MORTAR

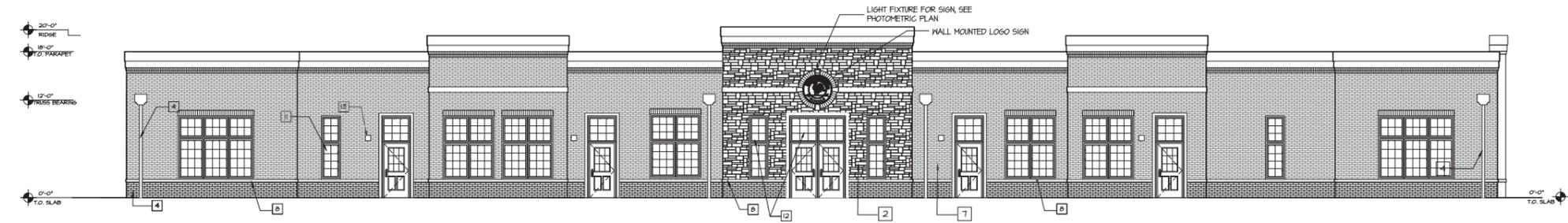
- CONSTRUCTION NOTES:
- VINYL SHUTTERS - SEE WINDOW SCHEDULE FOR SIZES.
  - STONE: SEE EXTERIOR COLOR ABOVE FOR MANUF.
  - GUFOLA WITH HEATHER VANE. SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT GUFOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER) CONDUCTOR HEAD AND DOWNSPOUTS, CONNECT TO UNDERGROUND STORM SYSTEM.
  - BRICK SOLDIER COURSE
  - EXTRUDED ALUMINUM 3" WIDE DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
  - BRICK VENEER
  - ROUNDED PRECAST SILL - NATURAL WHITE COLOR
  - STANDING SEAM ROOF ON METAL FRAME
  - 22" OR 36" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. SIZE AND HEIGHT AS SHOWN ON ELEVATIONS.
  - ALUMINUM SINGLE HUNG WINDOWS WITH CLEAR GLASS (SEE ELEV. SHEET A2.1)
  - FIXED ALUMINUM WINDOWS WITH TINTED GLASS. (SEE ELEVATIONS SHEET A2.1)
  - WALL MOUNTED LIGHT FIXTURE, TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. FLUSH TOP TO BOT OF SOFFIT OR 80" MIN AFG.
  - STOP BULLNOSE SILL AS REQUIRED TO ALLOW SPACE FOR ELECTRICAL SWITCHGEAR.
  - 6" REFLECTORIZED ADDRESS NUMBERS - 6" BLACK
  - H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE



(A) SOUTH ELEVATION 1/8"=1'-0"



(B) NORTH ELEVATION 1/8"=1'-0"



(C) EAST ELEVATION 1/8"=1'-0"

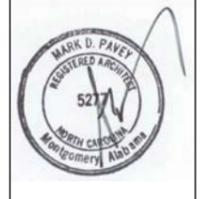


(D) WEST ELEVATION 1/8"=1'-0"

A New Building For:  
**Primrose School Franchising Company**  
3660 Cedarcrest Road  
Aurora, Georgia 30101  
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Children's Design Group  
Mark D. Pavay, A.I.A. - Architect  
PO BOX 1385  
GULF SHORES, AL 36547  
(334)-546-3624  
(206)-350-0593 Fax  
child.design@mindspring.com



Site:  
Primrose School of Mathews  
North Ames Street  
Mathews, NC

Building Type:  
NC-2015-2 Story

Drawing Title:  
EXTERIOR ELEVATIONS

Date: 12/9/2015 Dwn: MDP  
Ckd: MDP

Drawing Number:  
A-4

Revisions:

CONSTRUCTION SET



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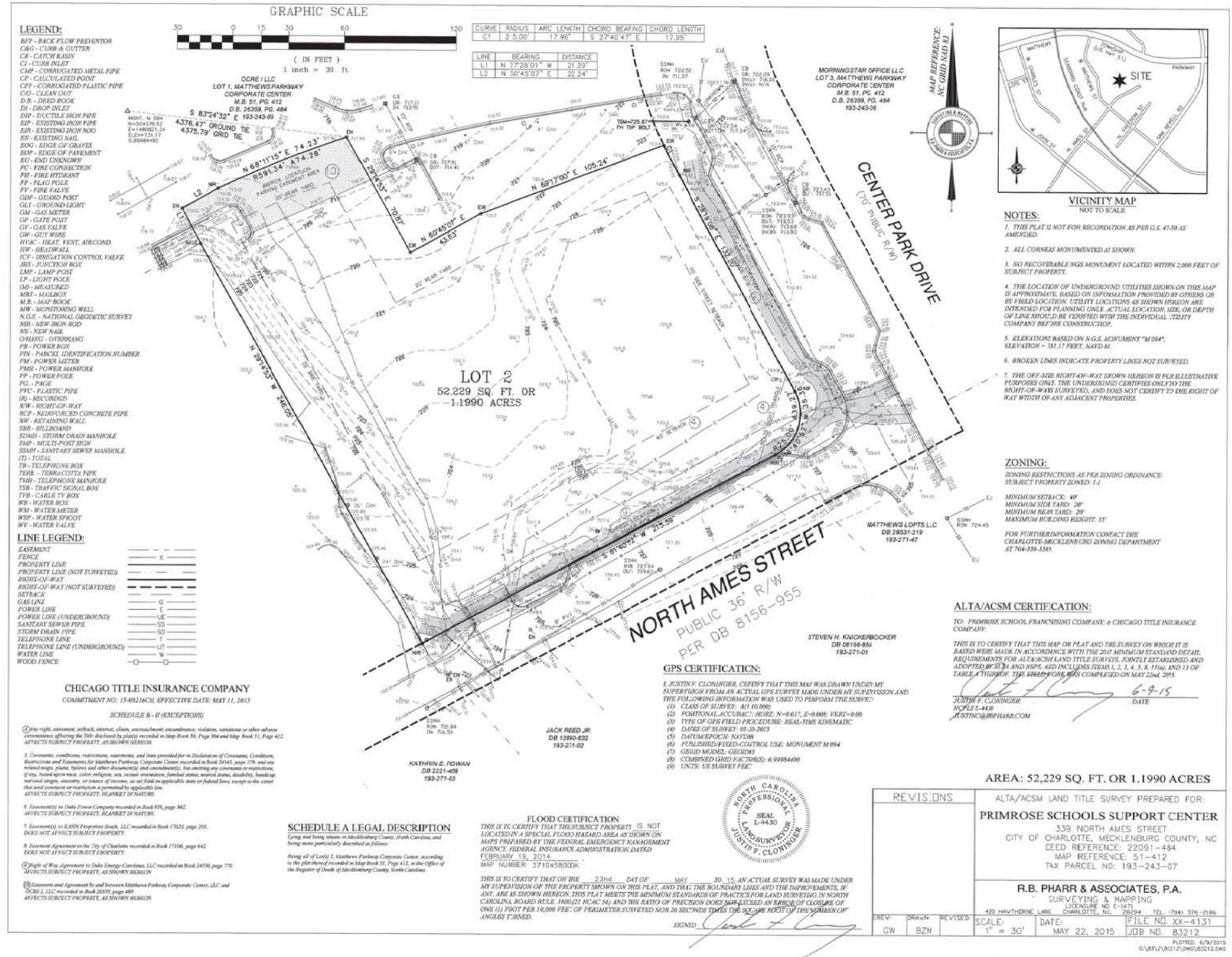
1318-e Central Ave., P. 704.334.3303  
Charlotte, NC 28205 F. 704.334.3305  
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PO Box 1365  
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child.design@mindspring.com

Primrose School  
Franchising Company

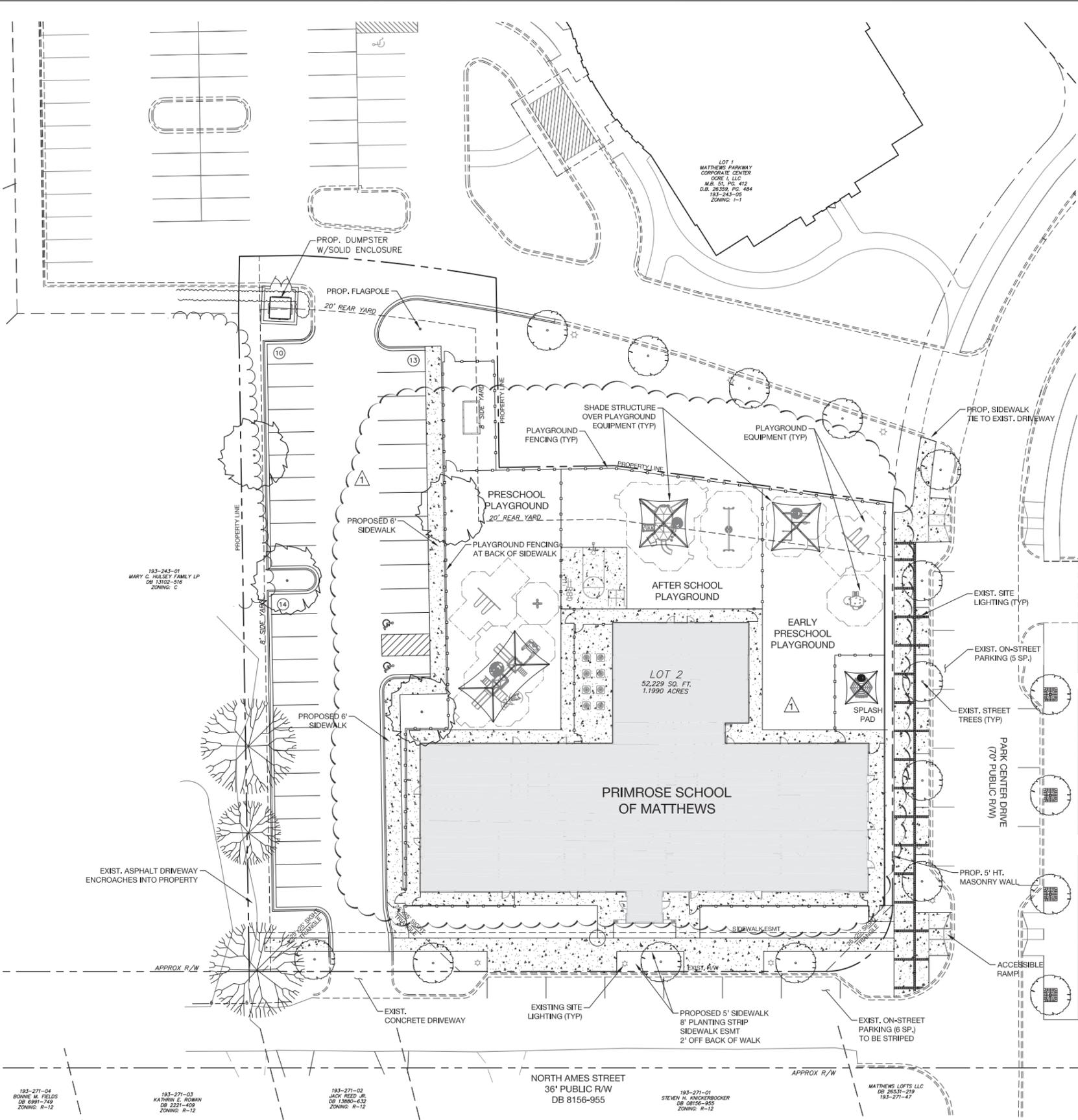
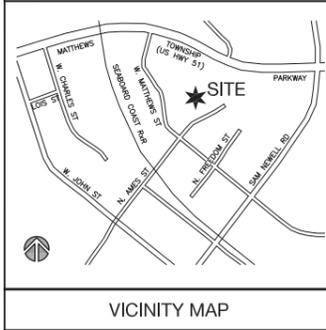
Ted Tillman  
3660 Cedarcrest Road  
Aurora, GA 30011

Primrose School  
of Matthews  
Survey/Existing Conditions Plan  
Ames Street, Matthews, NC



REZONING PETITION #2015-632

Project No: 15-040  
Date: July 1, 2015  
Designed by: udp  
Drawn by: udp  
Scale: as noted  
Sheet No: RZ-1



**DEVELOPMENT SUMMARY**

TAX PARCEL ID #:	193-243-07
TOTAL SITE AREA:	+/-1.19 AC.
EXISTING ZONING:	I-1
PROPOSED ZONING:	O (CD)
PROPOSED USE:	CHILD DAY CARE & OTHER USES
SETBACKS:	
FRONT:	13' MINIMUM 33' MAXIMUM
SIDE:	8' & 6'
SIDE (CORNER):	10'
REAR:	20'
MAXIMUM BUILDING HEIGHT:	40'
VEHICULAR PARKING:	
REQUIRED:	1 SPACE/2 ADULT & 1 SPACE/10 CHILDREN
PROPOSED:	SITE: 37 STREET: 11
BICYCLE PARKING:	
REQUIRED:	2
PROPOSED:	2
TREE CANOPY:	
REQUIRED:	6,220 SF (12%)
PROVIDED:	8,000 SF
PLAYGROUND AREA:	
REQUIRED:	185 MAX CHILDREN/2 = 93 CHILDREN 93' x 100 SF = 9,300 SF
PROVIDED:	14,338 SF



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1318-e6 central ave, P 704.334.3303  
charlotte, nc 28205 F 704.334.3305  
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**Primrose School Franchising Company**  
Ted Tillman  
3660 Cedarcrest Road  
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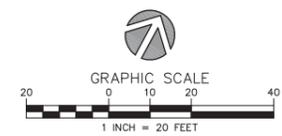
**Primrose School of Matthews**  
Rezoning Plan  
Ames Street, Matthews, NC

NO. DATE: BY: REVISIONS:

1	09/29/15	UDP	PER STAFF COMMENTS
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Project No: 15-040  
Date: July 1, 2015  
Designed by: udp  
Drawn By: udp  
Scale: 1" = 20'  
Sheet No: **RZ-2**

**REZONING PETITION #2015-632**



193-271-04 RONNIE M. FIELDS DB 6291-749 ZONING: R-12  
193-271-03 KATHRIN E. ROWAN DB 2221-409 ZONING: R-12  
193-271-02 JACK REED, JR. DB 13880-632 ZONING: R-12  
NORTH AMES STREET 36' PUBLIC R/W DB 8156-955  
193-271-01 STEVEN W. ANKERSBROOKER DB 08156-955 ZONING: R-12  
MATTHEWS LOFTS, LLC DB 26531-219 193-271-47

**GENERAL PROVISIONS**

A. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Application filed by Primrose School Franchising Company ("Applicant") for an approximately 1.2 acre site located on the west side of Park Center Drive between Matthews Township Parkway and North Ames Street, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site").

B. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the Town of Matthews Unified Development Ordinance (the "Ordinance"). The regulations established under the Ordinance for the O zoning district shall govern the use and development of the Site.

C. Subject to paragraph E under Architectural Standards, the location of any building to be constructed on the Site, other than a building devoted to a child day care facility as described below and the associated parking areas and other improvements, and the location of parking areas and other improvements shall be governed by the standards and regulations set out in the Ordinance.

**PERMITTED USES**

A. The Site may be devoted to any use or uses that are permitted by right or under prescribed conditions in the O zoning district and to any incidental and accessory uses associated therewith that are allowed in the O zoning district.

**DEVELOPMENT LIMITATIONS/MAXIMUM GROSS FLOOR AREA**

A. A child day care facility developed on the Site shall be subject to the following limitations:

- (1) The maximum number of children that may be served on the Site shall be 185.
- (2) The maximum size of a building devoted to a child day care facility shall be 14,500 square feet of gross floor area.
- (3) A child day care facility shall comply with the applicable requirements of Section 155.506.6 of the Ordinance.

B. The maximum size of a building devoted to a use or uses other than a child day care facility shall be 20,000 square feet of gross floor area.

C. For purposes of the limitations set out above, "gross floor area" shall mean the total floor area enclosed within a building, including interior balconies, exclusive of mezzanines, stairways and elevator shafts.

**DIMENSIONAL STANDARDS**

A. Development of the Site shall comply with the dimensional standards of the O zoning district and the Downtown Overlay District set out in the Ordinance.

**TRANSPORTATION AND PARKING**

A. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access points are subject to any minor modifications required by the Town of Matthews.

B. Vehicular parking shall be provided in accordance with the requirements of the Ordinance.

**STREETScape TREATMENT AND SIDEWALKS**

A. The streetscape treatment along the Site's public street frontages shall comply with the requirements of the Ordinance.

B. Sidewalks shall be installed along the Site's public street frontages as depicted on the Rezoning Plan.

C. A sidewalk easement shall be conveyed to the Town of Matthews for any portion of the public sidewalks that are located on the Site and outside of the right of way as depicted on the Rezoning Plan.

**ARCHITECTURAL STANDARDS**

A. The maximum height of any building developed on the Site shall be 40 feet.

B. Attached to the Rezoning Plan is a schematic architectural rendering of the front elevation of the building to be constructed on the Site that shall be devoted to a child day care facility that is intended to depict the general conceptual architectural style and character of the front elevation of this building. Accordingly, the front elevation of a building to be constructed on the Site that will be devoted to a child day care facility shall be designed and constructed so that it is substantially similar in appearance to the attached schematic architectural rendering with respect to architectural style, character and primary building materials. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.

C. The primary exterior building materials used on a building devoted to a child day care facility will be a combination of portions of the following: brick, stone, precast stone, synthetic stone, cementitious siding (such as hardi-plank) and wood. Vinyl as a building material may only be used on windows, soffits, trim and shutters.

D. A building devoted to a child day care facility shall have four sided architecture, such that the side and rear elevations of the building shall have the same exterior building materials as the front elevation and the same percentage brick as the front elevation.

E. Prior to the issuance of a building permit for any building to be constructed on the Site that shall be devoted to a use or uses other than a child day care facility, the site plan and the building elevations for such building must be approved by the Matthews Board of Commissioners.

**SCREENING**

A. Dumpster and recycling areas will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of the building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.

**SIGNS**

A. All signs installed on the Site shall comply with the requirements of the Ordinance.

**BINDING EFFECT OF THE REZONING APPLICATION**

A. If this Rezoning Application is approved, all conditions applicable to the development and/or use of the Site imposed under this Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Applicant and the current and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Applicant" and "owner" or "owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Applicant or the owner or owners of the Site from time to time who may be involved in any future development thereof.



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Ted Tillman  
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**Primrose School  
of Matthews**  
**Development Standards & Notes**  
Ames Street, Matthews, NC

NO.	DATE	BY	REVISIONS:
1	09/29/15	UDP	PER STAFF COMMENTS

Project No: 15-040  
Date: July 1, 2015  
Designed by: udp  
Drawn By: udp  
Scale: nts  
Sheet No:

**RZ-3**

**REQUIRED PLAN INFO**

BUILDING HEIGHT - 26'-6"  
 NUMBER OF STORES - ONE  
 BUILDING OCCUPANCY - EDUCATIONAL  
 FLOOR AREA - 14,791 SF  
 BUILDING TYPE - VB SPRINKLED  
 PROPOSED FLOOR ELEVATION - FIRST FLOOR: 440.5'

**REQUIRED PLAN NOTES**

1) Other appropriate means include, but are not limited to, a registered forester's or certified arborist's report referenced to scale digital photos, a registered forester's or certified arborist's report referenced to aerial photographs, Aerial photographs are not an acceptable stand-alone means of documentation for trees.

2) Riparian buffers on perennial streams are measured 100 feet from the top of the bank on both sides of the stream. Riparian buffers on intermittent streams are measured 50 feet from the top of the bank on both sides of the stream.

3) If the site does not contain the 100-year floodplain or floodway, certify that there is no FEMA flood study information on floodplains, floodways, flood fringes, and flood hazards at the construction plan stage of plan review.

4) No site development activity including, but not limited to, testing, clearing, installation of soil and erosion measures, or grading shall occur until required protection fencing has been installed and inspected. A protection fencing installation permit may be obtained at the Planning Department.

5) Protection fencing must be placed away from any saved tree one foot for each inch of caliper. Protection fencing must be placed at least 10 feet away from any other registered RCA such as, but not limited to, historic buildings and structures, wetlands, and ponds. Protection fencing must be placed along the outside line of the 100 year floodplain and the outside edge of any riparian buffer. Additional protection fencing may be required in other locations close to construction activity where it is deemed necessary by the zoning enforcement officer. Such areas may include common property lines or near public areas (sidewalks, etc.).

6) All grading and support structures associated with any retaining structure shall not encroach into any required buffer or protected area (i.e. RCA and critical root zones of trees, public utility easements and right-of-way), and shall be contained entirely on site.

7) Site elements required to satisfy recreational requirements such as, but not limited to, play fields, greenway trails and items typically associated with them (benches, trash containers, signs, etc.) must meet any applicable standards found in the TOA Standard Specifications and Construction Details and the requirements of the TOA Parks and Recreation Department.

8) The screening of loading docks, trash containers including dumpsters and roll-out carts, outdoor storage, mechanical and HVAC equipment, and similar facilities on the roof, on the ground, or on the buildings shall meet the requirements found in Section 8.2.B of the UDO. Specifically, screening must be done so that:

- a) It is incorporated into the overall design theme of the building and landscape.
- b) Screening materials are not different from or inferior to the principal materials of the building or landscape, and are similar in materials and color.
- c) Screened items are out of view from adjacent properties and public streets, and a totally opaque screen is achieved.
- d) Any ground-mounted HVAC or mechanical or utility equipment six feet or higher must be fenced and landscaped.
- e) Dumpster enclosures must meet the above requirements plus they must be at least eight feet tall or the height of the dumpster, whichever is greater, and be built of masonry material.

9) All required site elements shown with a particular phase must be installed before a final certificate of occupancy may be issued for any building within that phase.

10) Site items such as, but not limited to, lighting, landscaping including mulch, screening (i.e. dumpsters/trash, mechanical/HVAC, etc.), site stabilization (seeding), and parking and pavement marking must be completed prior to scheduling a final site inspection.

11) Individual signs are not approved as part of the site plan approval process. A separate sign permit must be obtained prior to installation of the sign. Multiple use lots, non-residential subdivisions and multiple tenant lots must submit a Master Sign Plan for approval.

12) Retaining systems providing a cumulative vertical relief greater than five feet in height within a horizontal distance of 50 feet or less, including retaining walls or mechanically stabilized earth walls shall be designed and constructed under the responsible change of a registered professional engineer and comply in all aspects with the NC Building Code Section 802. Retaining systems meeting this criteria will require a separate building permit prior to start of work.

13) Per UDO Section 6.1.2(b) - Prior to approval of a final plat or issuance of a certificate of occupancy, any development where engineered stormwater control structure is required, please contact Mike Deaton to demonstrate that the required structure is in place, that it is operational, and that it complies with all relevant portions of Section 6.1.2 Engineered Stormwater Controls. If the engineered stormwater control structure is used as part of a temporary erosion control measure, the inspection will occur during the appropriate phase of construction.

14) All water and sewer lines shall be installed with a minimum of 3 feet of cover.

15) Maintain 18" minimum vertical separation between utilities.

16) Verify all illustrated utility crossings prior to construction and notify the engineer if conflicts are encountered.

17) Contractor shall coordinate utility relocation or abandonment with local utility companies as required.

18) Utilities will not encroach upon protected areas or run parallel through any required buffer.

19) Water and sewer shall be at least 10 feet laterally from existing or proposed sewers, where local conditions prevent a separation of at least 10 feet, the water main may be laid closer, provided that the elevation of the bottom of the water main is at least 18" above the top of the sewer with a horizontal separation of at least 3 feet.

20) All new public water and sewer lines contained within a Town of Apex Public Utility Easement will require a Water Distribution Extension Permit and/or a Sewer Sewer Extension Permit prior to the start of utility construction. All Water Distribution Extension Permit Applications shall be accompanied by a Sealed Engineer's Report per the TOA Water Sewer System Management Plan. Please contact the Engineering Division to obtain these permit applications.

21) A plumbing permit issued by the Building Inspection Division is required for all plumbing systems, including stormdrainage systems, installed outside the Public Right of Way or a Public Utility Easement. These systems shall be inspected and approved by the plumbing inspector prior to covering. Contact Rudy Baker (919-244-3386) for information including the utilization of a third-party inspection agency.

22) It is the responsibility of the owner or his representative(s) to locate and identify all existing and proposed utilities and to clearly identify them on the approved plans.

23) No public or private utility easements shall be allowed to be contained in the calculations for buffers, RCA, or required landscape areas.

24) All landscaping is required to be installed prior to a certificate of occupancy for the project. In the case of phased development, all landscaping is required to be installed prior to a certificate of occupancy for the phase of the project. If the applicant chooses to delay the installation of landscaping from April through September 1, then the applicant shall provide a cash bond equal to 150 percent of the cost of materials and installation, based on the highest estimate received, to ensure installation of the required landscaping.

25) Required buffers must meet the minimum opacity requirements for the particular type of buffer as described in UDO Section 8.2.B.

26) Any vegetation that is dead, substandard, unhealthy or poor structural quality or missing shall be replaced in conformance with Town standards.

27) All plant material shall be allowed to reach their mature size and maintained their mature size. Plants shall not be cut or severely pruned so that their natural form is impaired.

28) All slopes of 2:1 or steeper shall be stabilized with permanent slope retention or a suitable combination of planting and retention devices.

29) Slopes greater than 3:1 shall not be stabilized turf grasses, but with other permanent groundcover.

30) All outdoor fixtures shall be located a minimum of 10 feet from a property or right-of-way line, and at least two feet away from any required perimeter or streetscape buffer and tree save area.

31) Lamps for non-cutoff fixtures shall not exceed 100 watts.

32) Wall pack fixtures must be fully shielded, true cutoff type fixtures (concealed lamp/light source). The lighting must be directed downward and the wattage must not exceed 100 watts.

33) Floodlights or other types of lighting are prohibited unless approval is given through the development review process and reflected on the approved site plan.

34) Awnings and canopies used for accents over doors and windows shall not be internally lit.

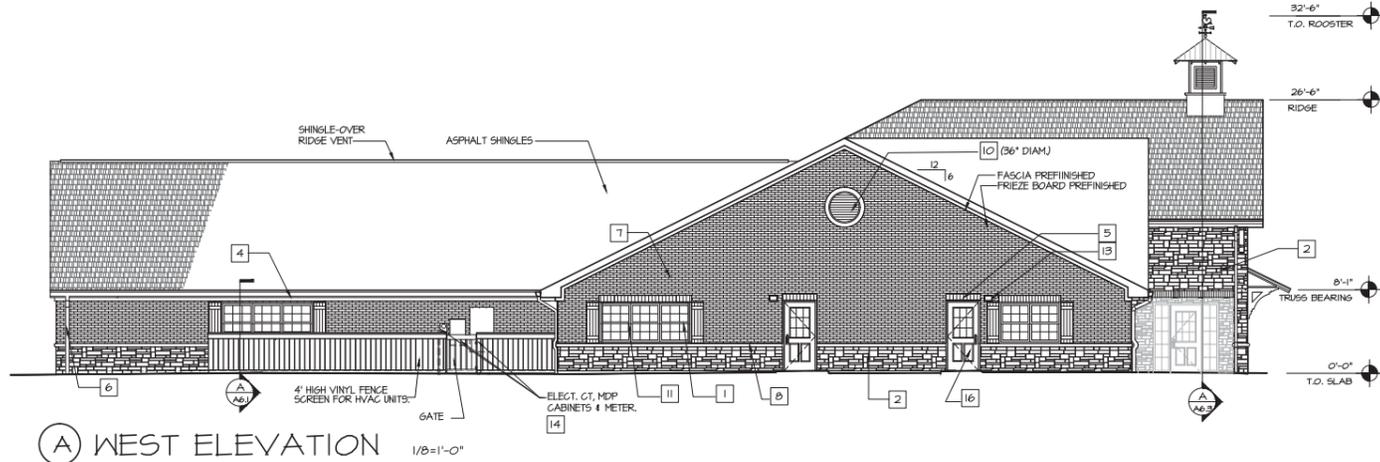
35) Before certificates of occupancy are released, the owner/owner must supply the Town with a final letter of certification from the lighting engineer and/or lighting manufacturer verifying that all site lighting is installed according to Town standards, the approved plans, and any applicable conditions.

36) Architectural construction plans must adhere to the approved site plans. Any proposed changes must be submitted to the Planning Department for approval.

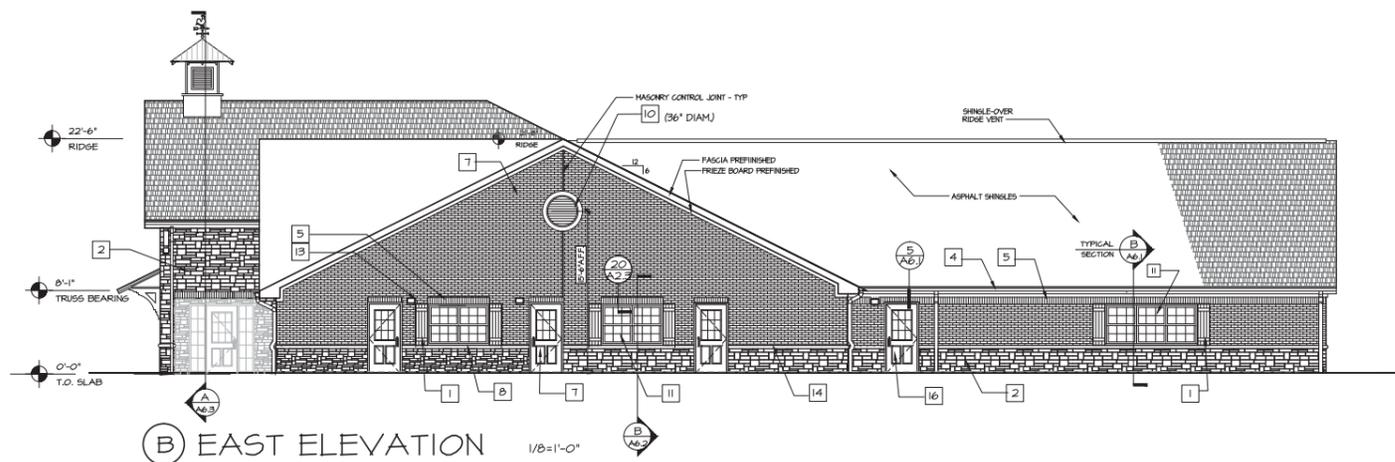
**EXTERIOR COLOR SCHEDULE**

TRASH ENCLOSURE GATES (POST & HINGED)	#BM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
EXTERIOR HD. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND AND DOWNSPOUTS, SOFFITS.	TO MATCH HARDIE TRIM SANDSTONE BEIGE JBO-20 (BM HC-82 or SW 5M 6157)
EXTERIOR HARDIE TRIM, FASCIA, FRIEZE	SANDSTONE BEIGE JBO-20 (BM HC-82 or SW 5M 6157)
WINDOWS	ALMOND OR BEIGE
BRICK:	MOUNT VERNON MODULAR GROUT: BUFF COLORED MORTAR
ASPHALT SHINGLES:	MANUF.: GAF STYLE: TIMBERLINE SERIES, T-30 WITH "SHADOW ACCENT" COLOR: WEATHERED WOOD
NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR	
VINYL SHUTTERS	ARCHITECTUREDEPOT.COM - 14" JOINED SHUTTERS W/INSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #2B2 COLONIAL GREEN
STANDING SEAM ROOF:	AEP-SPAN SNAPSEAM - 12" COLOR: DARK BRONZE
STEEL RIVING SUPPORTS & MOOD BRACKETS:	#BM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
STONE:	LONESTAR STONE - LIBERTY CLASSIC - AUTUMN GROUT: BUFF COLORED MORTAR

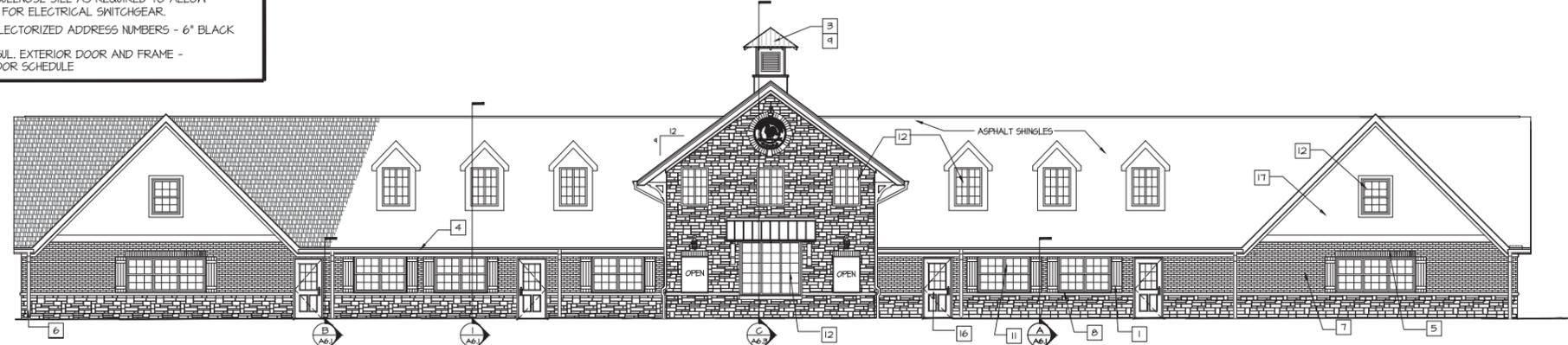
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  - 4 EXTRUDED ALUMINUM 5" WIDE GUTTERS WITH SPIKE & FERRULE AT 36" O.C. OGEE PROFILE. CONNECT 4"DIA. DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
  - 5 BRICK SOLDIER COURSE
  - 6 EXTRUDED ALUMINUM 3" WIDE DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
  - 7 BRICK VENEER
  - 8 ROUNDED PRECAST SILL - NATURAL WHITE COLOR
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  - 13 WALL MOUNTED LIGHT FIXTURE, TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. FLUSH TOP TO BOT OF SOFFIT OR 80" MIN AFS.
  - 14 STOP BULLNOSE SILL AS REQUIRED TO ALLOW SPACE FOR ELECTRICAL SWITCHGEAR.
  - 15 6" REFLECTORIZED ADDRESS NUMBERS - 6" BLACK
  - 16 H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE



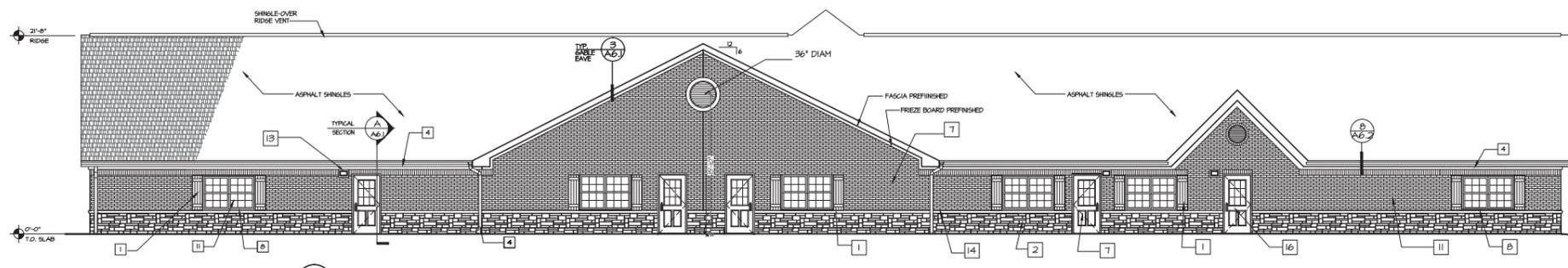
(A) WEST ELEVATION 1/8"=1'-0"



(B) EAST ELEVATION 1/8"=1'-0"



(C) SOUTH ELEVATION 1/8"=1'-0"



(D) NORTH ELEVATION 1/8"=1'-0"

A New Building For:

**Primrose School Franchising Company**

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 Acworth, Georgia 30101  
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Site:  
 Primrose School of  
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 North Ames Street  
 Matthews, NC

Building Type:  
 NC-2015-2 Story

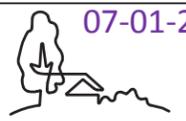
Drawing Title:  
 EXTERIOR  
 ELEVATIONS

Date: 4/24/2015 Dm: MDP  
 Ckd: MDP

Drawing Number:  
 A-4

Revisions:

preliminary



URBAN DESIGN PARTNERS

1318-46 central ave. P 704.334.3303  
charlotte, nc 28205 F 704.334.3305  
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3660 Cedarcrest Road  
Acworth, GA 30101

# Primrose School of Matthews

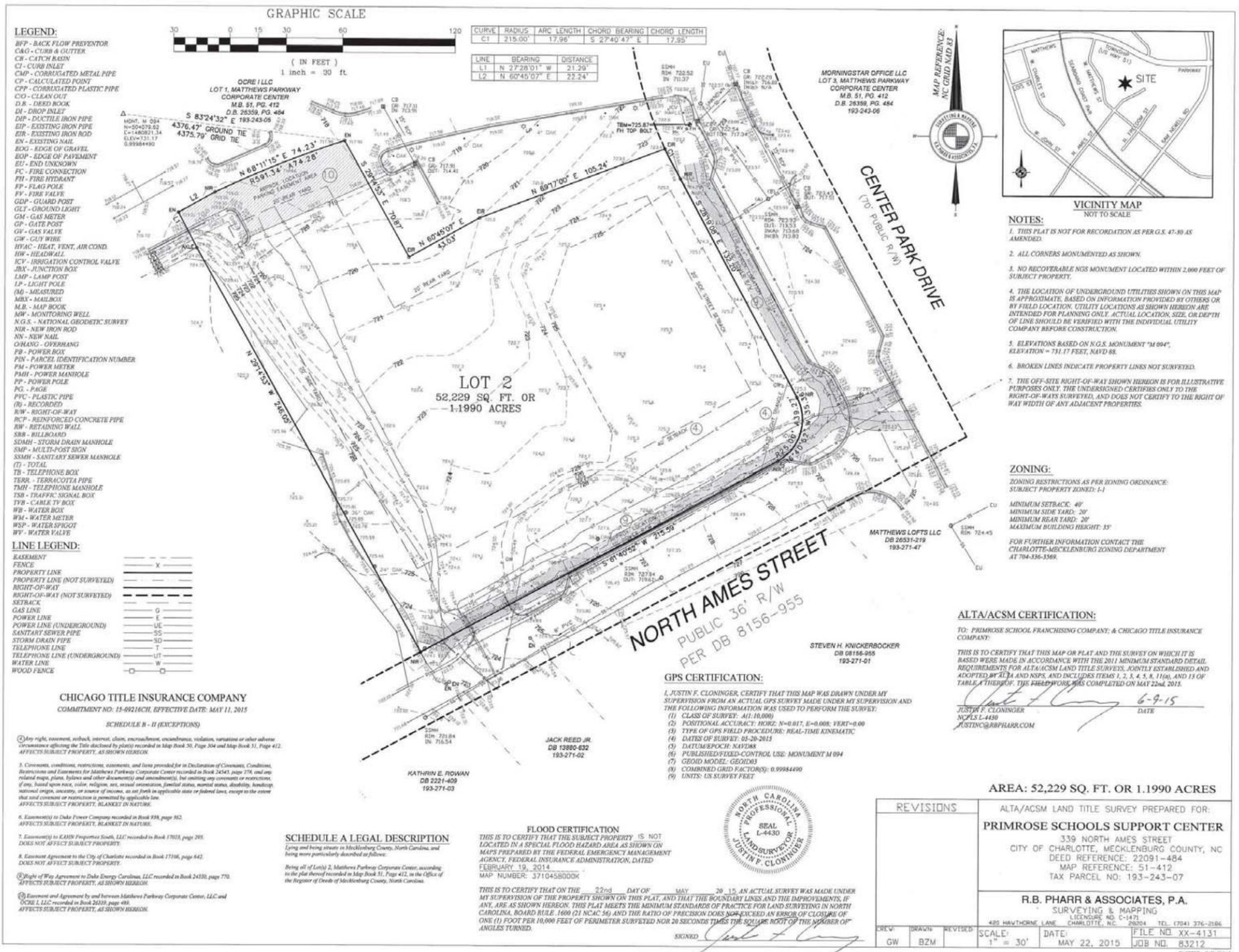
## Survey/Existing Conditions Plan

Ames Street, Matthews, NC

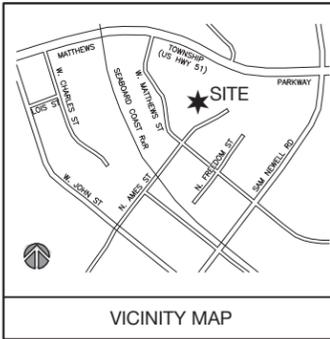
NO.	DATE	BY	REVISIONS

Project No: 15-040  
Date: July 1, 2015  
Designed by: udp  
Drawn by: udp  
Scale: 48 x 24  
Sheet No:

# RZ-1



REZONING PETITION #2015-xxx



**DEVELOPMENT SUMMARY**

TAX PARCEL ID #:	193-243-07
TOTAL SITE AREA:	+/-1.19 AC.
EXISTING ZONING:	I-1
PROPOSED ZONING:	O (CD)
PROPOSED USE:	CHILD DAY CARE & OTHER USES
SETBACKS:	
FRONT:	30'
SIDE:	8' & 6'
SIDE (CORNER):	10'
REAR:	20'
MAXIMUM BUILDING HEIGHT:	40'
VEHICULAR PARKING:	
REQUIRED:	1 SPACE/ADULT & 1 SPACE/10 CHILDREN
PROPOSED:	
SITE:	46
STREET:	11
BICYCLE PARKING:	
REQUIRED:	2
PROPOSED:	2



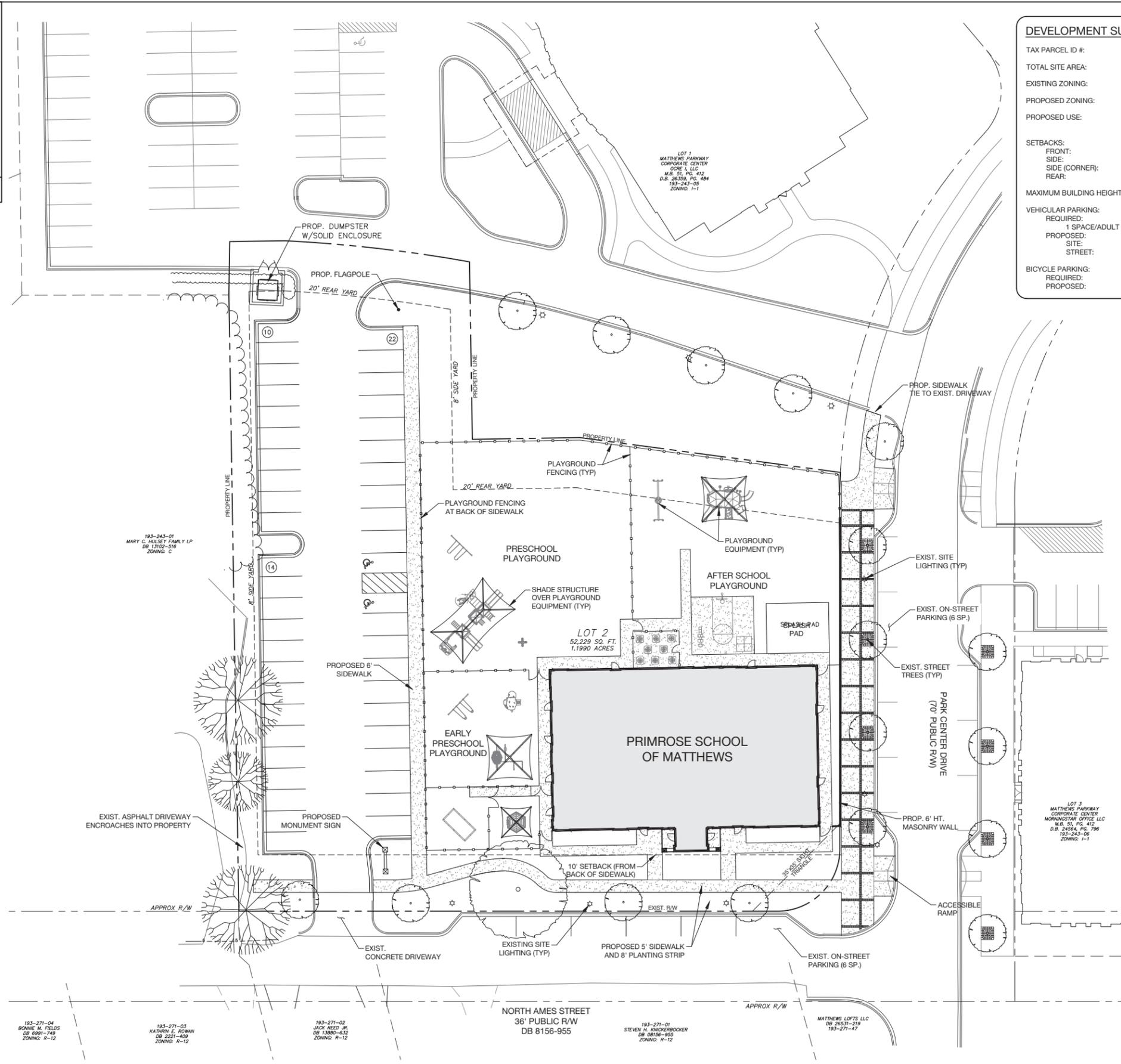
**URBAN DESIGN PARTNERS**

1318-46 central ave. # 704.334.3303  
 charlotte, nc 28205 # 704.334.3305  
 urbandesignpartners.com  
 nc license no: P-0418

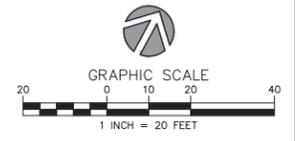
Children's Design Group  
 Mark D. Pavey, A.I.A.-Architect  
 PO Box 1365  
 Gulf Shores, AL 36547  
 (334)-546-3624  
 (206)-350-0593 Fax  
 child.design@mindspring.com

Primrose School Franchising Company  
 Ted Tillman  
 3660 Cedarcrest Road  
 Acworth, GA 30101

**Primrose School of Matthews**  
 Rezoning Plan  
 Ames Street, Matthews, NC



**REZONING PETITION #2015-xxx**



NO. DATE BY: REVISIONS:

Project No: 15-040  
 Date: July 1, 2015  
 Designed by: udp  
 Drawn By: udp  
 Scale: 1"=200'  
 Sheet No:

**RZ-2**

