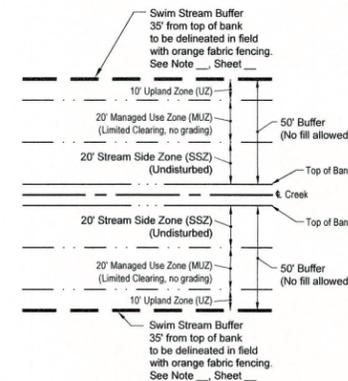
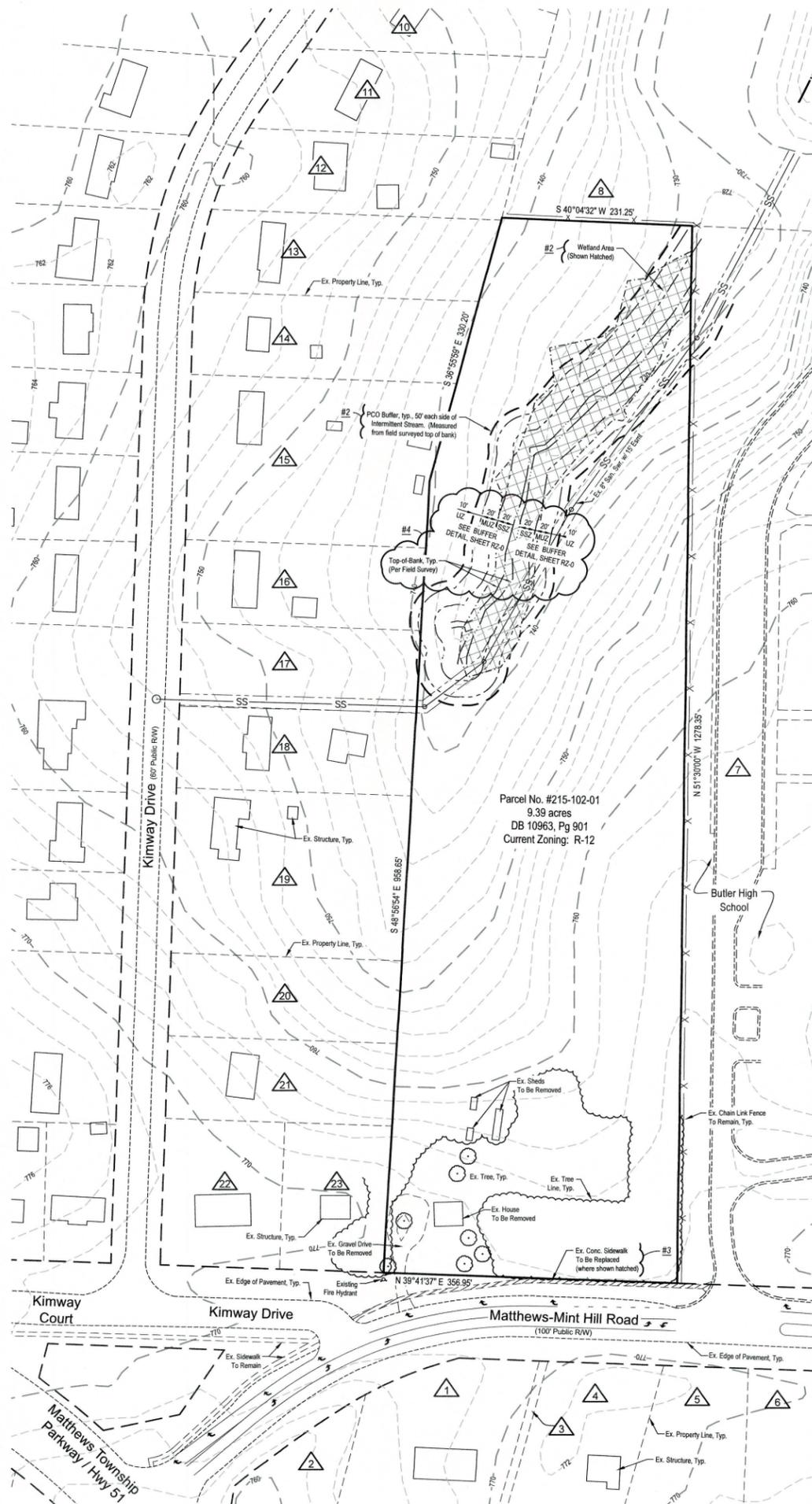


Adjacent Owners (Within 200')

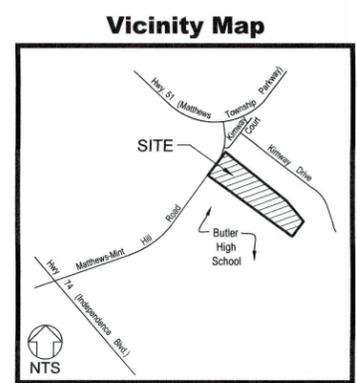
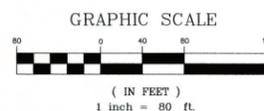
Parcel ID	Parcel No.	Property Owner	Deed Ref.
1	1933114	Ruby H. McLeod & Arch M. McLeod Arch M. McLeod 15043 Idewild Rd., Apt. 123 Matthews, NC 28105	04447-022
2	1933138	NC Dept of Transportation c/o John L. Shoemaker, N/W Agent 716 North Main St. Albemarle, NC 28001	08925-842
3	1933164	Blue Water Equity Group V, LLC 3303 Benson Dr., Suite 303 Raleigh, NC 27609	29730-603
4	1933165	NC Whitley Holdings, LLC 3506 Pageland Hwy. Monroe, NC 28112	26929-927
5	1933166	Catherine Hazel Group, LLC 810 Pine Valley Ct. Wendell, NC 28104	26713-925
6	1933167	Matthews Dental Properties, LLC 4334 Britley Ln. Harrisburg, NC 28075	21009-725
7	21510202	Charlotte-Mecklenburg Board of Education PO Box 36035 Charlotte, NC 28230	08115-808
8	21510222	Charlotte-Mecklenburg Board of Education PO Box 36035 Charlotte, NC 28230	08115-802
9	21518207	Elizabeth B. Wilson & Woodrow E. Wilson 2158 Kimway Drive Matthews, NC 28105	02964-164
10	21518208	Andrea Fairfax & Sean Farrow 2040 Kimway Drive Matthews, NC 28105	11708-618
11	21518209	Michael Caserio 2036 Kimway Drive Matthews, NC 28105	30113-770
12	21518210	Mary H. Hastings & Melvin H. Hastings 2036 Kimway Drive Matthews, NC 28105	04548-095
13	21518211	Lola Hargett Meffitt 2024 Kimway Drive Matthews, NC 28105	02166-400
14	21518212	Michael Gessell 2016 Kimway Drive Matthews, NC 28105	10293-315
15	21518213	Enrique M. Cervantes & Maria V. Romeu 2008 Kimway Drive Matthews, NC 28105	30380-602
16	21518214	Tyler J. Stallings & Madison Carroll 1924 Kimway Drive Matthews, NC 28105	32474-847
17	21518215	Collette L. Mullis & Gary P. Mullis 1916 Kimway Drive Matthews, NC 28105	26285-374
18	21518216	Brittany A. Sandy & Russell T. Lutz 1908 Kimway Drive Matthews, NC 28105	31909-565
19	21518217	Sylvia J. Smith & John Muffitt Smith 1880 Kimway Drive Matthews, NC 28105	02929-576
20	21518219	Jeanne Marie Orsola 1824 Kimway Drive Matthews, NC 28105	31311-372
21	21518220	Alan R. Wisbaum & Monica S. Wisbaum 1818 Kimway Drive Matthews, NC 28105	20248-481
22	21518221	Amazin Properties, LLC 3039 Adon Ln. Southport, NC 28461	26742-350
23	21518222	Bernard Michalk 1710 Kimway Drive Matthews, NC 28105	28957-598

Sheet Index

- Sheet RZ-0: Existing Conditions Plan
- Sheet RZ-1: Technical Data Sheet
- Sheet RZ-2: Illustrative Site Plan
- Sheet RZ-3: Boundary & Tree Survey
- Sheet RZ-4: Tree Survey Data Table
- Sheet RZ-5: Tree Survey Data Table
- Sheet RZ-6: Tree Survey Data Table
- Sheet RZ-7: Building Elevations



Buffer Detail
NTS



#10 - 8/30/19: Revised Sheet RZ-1 per BOC & Planning Staff comments.
 #9 - 8/14/19: Revised Sheets RZ-1 & RZ-2 per Public Hearing comments.
 #8 - 7/25/19: Revised Sheet RZ-7.
 #7 - 7/24/19: Revised Sheets RZ-1 and RZ-7.
 #6 - 7/8/19: Revised Sheet RZ-7 per Client request.
 #5 - 6/10/19: Rev. Sheet RZ-0 (Sheet Index), Sheet RZ-1 (Development Note #7.G), and Sheet RZ-7 (updated Elevations).
 #4 - 5/28/19: Revised Sheets RZ-0 thru RZ-2 per Matthews Staff review comments.
 #2 - 4/15/19: Revised Sheets RZ-0 thru RZ-2 per Petitioner request, Matthews review comments and addition of channel/welland information.
 #1 - 3/8/19: Revised Sheets RZ-0, RZ-1 and RZ-3 per addition of Tree Survey info and added Sheets RZ-4 thru RZ-6.
 Revision Summary

HARKEY PROPERTY
2026 Matthews-Mint Hill Road

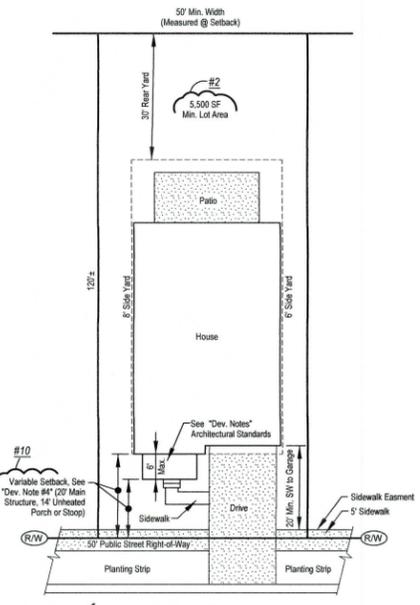
**EXISTING CONDITIONS PLAN
FOR
REZONING PETITION #2019-697**

Job No.: 21901	Proj. Mgr.: WMH	Sheet No.:	RZ-0
Date: 2/27/19	Drawn: AW	of 8	
Scale: 1" = 80'	Checked: WMH		

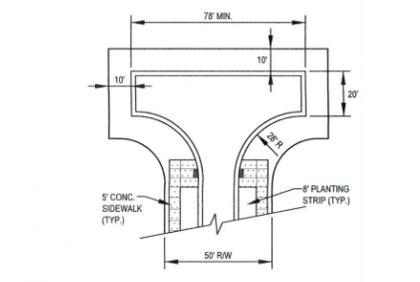
HARRIS ENGINEERING
 5200 PARK ROAD
 SUITE 231
 CHARLOTTE, NC 28209
 P (704) 334-1325
 F (704) 334-1330
 NC IC-1170 & SC IC-00046

Adjacent Owners (Within 200')

Parcel ID	Parcel No.	Property Owner	Dist. Ref.
1	1933114	Ruby H. McLeod & Arch M. McLeod Arch M. McLeod 10043 Alwood Rd., Apt. 123 Mathews, NC 28105	04447-032
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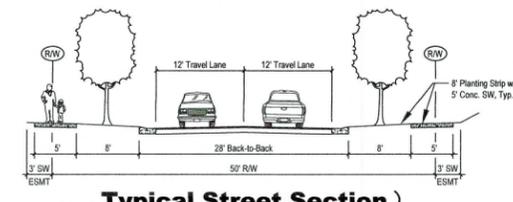


Typical Lot Detail
Scale: 1" = 20'



Hammerhead Detail

Ref: MCLDS #11.18A
NOTE: Variations on this design (e.g. Wyes, Tumarounds in the stem, rotation of entry point, etc.) may be permitted per Std. Detail #11.18A.



Typical Street Section
Ref: MCLDS #11.51

Applicant

Sinacori Builders, LLC
10100 Park Cedar Drive, Suite 166
Charlotte, NC 28210
Phone: (704) 975-9560
Contact: Ed Estridge
(ed@sinacorbldrs.com)

Property Owners

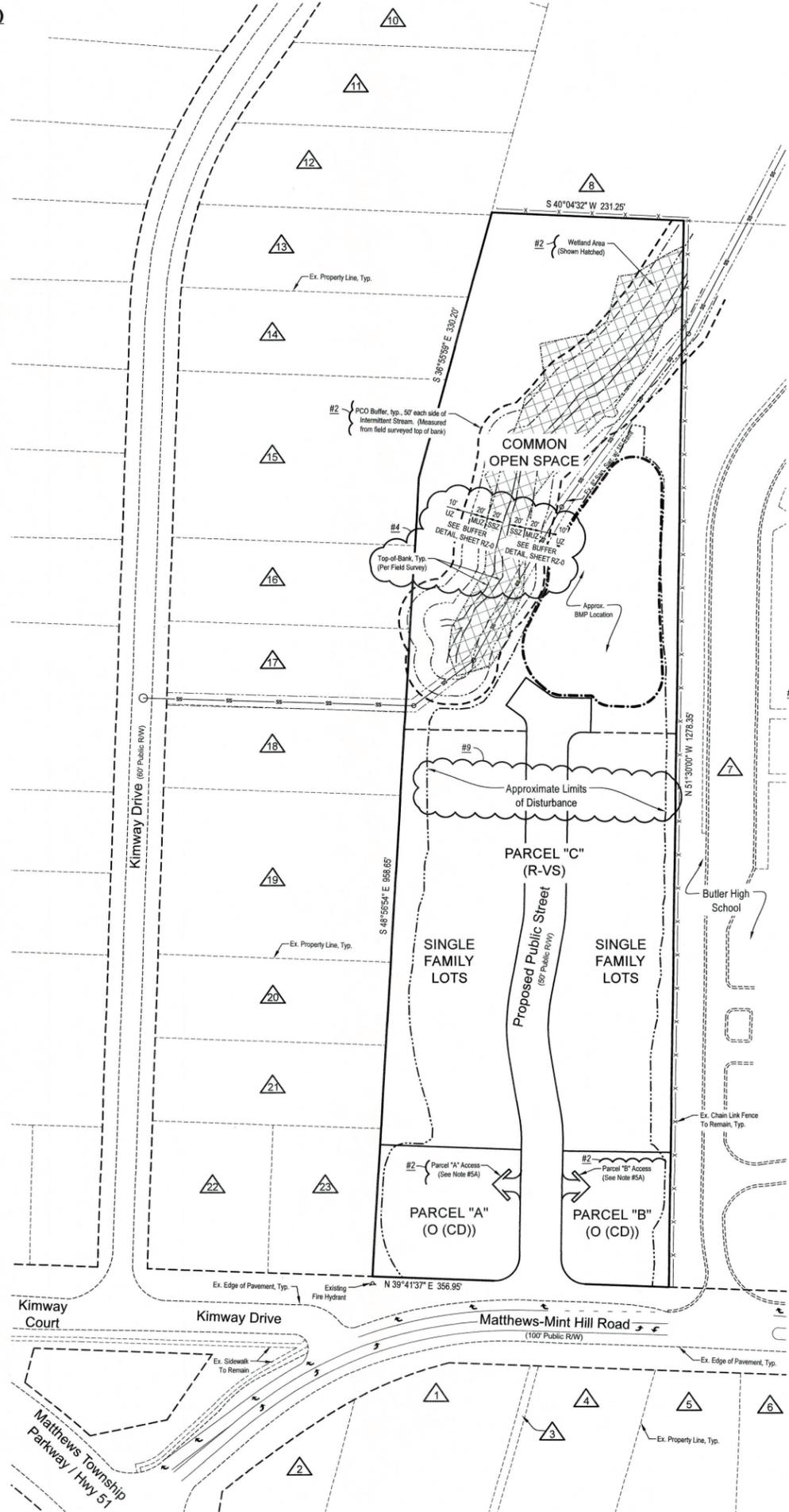
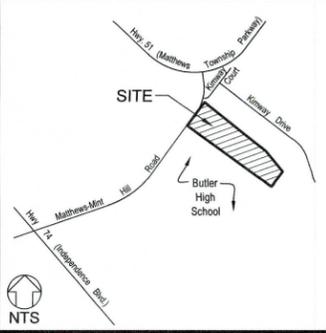
Property Owner #1:
John E. Harkey
2026 Mathews-Mint Hill Road
Mathews, NC 28105
DB 10963, Pg 901

Property Owner #2:
Richard N. Harkey
3323 Rustburg Drive
Fayetteville, NC 28303
DB 10963, Pg 901

Consultant

Harris Engineering
5200 Park Road, Suite 231
Charlotte, NC 28209
Phone: (704) 334-1325
Fax: (704) 334-1330
Contact: Wayne M. Harris, P.E.
(wharris@he-no.com)

Vicinity Map



Site Development Data

Tax Parcel No.: 215-102-01
Parcel Address: 2026 Mathews-Mint Hill Road, Mathews NC
Zoning Jurisdiction: Town of Mathews
Existing Zoning Classification: R-12
Proposed Zoning Classification: O (CD) and R-VS (CD)
Total Site Area: 9.39 Acres
Existing Land Use: Undeveloped
Proposed Land Use: Office Buildings and Single-Family Residential
Required Undisturbed Open Space: 1.64 Acres (17.5%)
Proposed Undisturbed Open Space: 1.79 Acres (19.1% of Site)

Parcel 'A':
Parcel Area: 0.63 Acres
Proposed Building Area: 5,800 SF Maximum for Medical Office or 8,700 SF Maximum for General Office
Parking Required for Medical Office at 1 space per 200 SF = 5,800 / 200 = 29
Parking Required for General Office at 1 space per 300 SF = 8,700 / 300 = 29
On-site Parking Provided = 29, including 2 H/C Accessible Spaces
Office District Lot Data:
Minimum Lot Area: 9,000 SF
Minimum Lot Width: 60'
Setback: 30'
Minimum Side Yard, Interior: 8' and 6'
Minimum Corner Side Yard: 10'
Minimum Rear Yard: 20'
Maximum Building Height: 40'

Parcel 'B':
Parcel Area: 0.47 Acres
Proposed Building Area: 4,200 SF Maximum for Medical Office or 6,300 SF Maximum for General Office
Parking Required for Medical Office at 1 space per 200 SF = 4,200 / 200 = 21
Parking Required for General Office at 1 space per 300 SF = 6,300 / 300 = 21
On-site Parking Provided = 21, including 1 H/C Accessible Spaces
Office District Lot Data: Same as Parcel 'A'

Parcel 'C':
Parcel Area: 8.29 Acres
Proposed Open Space: 3.75 Acres Minimum (45% of Site)
Maximum Number of Lots Proposed: 20
R-VS District Lot Data:
Minimum Lot Area: 4,500 SF
Proposed Minimum Lot Area: 5,500 SF
Minimum Lot Width: 40'
Proposed Minimum Lot Width: 50'
Setback: 14' / 20' (See "Development Note" #4, Dimensional Standards)
Minimum Side Yard, Interior: 8' and 6'
Minimum Corner Side Yard: 10'
Minimum Rear Yard: 30'
Maximum Building Height: 35'

Tree Preservation:
Existing Canopy on Parcel by measurement: 16,175 sf
Existing Canopy to Remain: 1,500 sf (9.3% of Site)
Required Tree Canopy: Parcel Area x 15% = 20,376 x 0.15 = 3,056 sf
Tree Canopy to be Provided:
Small Maturing Trees: 7 Min. (2,800 sf)
Large Maturing Trees: 4 Min. (4,800 sf)
Total Canopy: 9,100 sf

Tree Preservation:
Existing Canopy on Parcel by measurement: 8.02 acres
Required Tree Canopy: Parcel Area x 15% = 8.0 x 0.15 = 1.2 acres
Existing Canopy to Remain: 3.1± acres (±38.7% of Site, and includes undisturbed area in rear yards of Single Family lots.)

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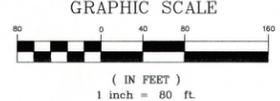
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Development Notes

- GENERAL PROVISIONS**
 - These Development Standards form a part of the Rezoning Plan associated with the Rezoning Application filed by Sinacori Builders, LLC ("Applicant") for an approximately 9.39 acre site located on the east side of Mathews-Mint Hill Road and adjoining Butler High School, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site").
 - The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the Town of Mathews Unified Development Ordinance (the "Ordinance"). The regulations established under the Ordinance for the O and R-VS zoning districts and the Special Highway Overlay District shall govern the use and development of the Site.
 - The development and uses depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of the uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback, yard and perimeter landscaping requirements set forth on this Rezoning Plan and the Development Standards, provided, however, that any such alterations and modifications shall not materially change the overall design intent depicted on the Rezoning Plan.
- PERMITTED USES**
 - Parcel 'A' - The Parcel may be devoted only to the following uses and to any incidental and accessory uses associated therewith that are allowed in the O zoning district.
 - General and professional offices.
 - Contractor's office without accessory storage.
 - Office with display of sample merchandise to wholesalers and retailers when the samples are only visible within the building and no sales, inventory or delivery of merchandise from the building.
 - Medical, dental, optical office and clinic.
 - Parcel 'B' - The Parcel may be devoted only to the following uses and to any incidental and accessory uses associated therewith that are allowed in the O zoning district.
 - General and professional offices.
 - Contractor's office without accessory storage.
 - Office with display of sample merchandise to wholesalers and retailers when the samples are only visible within the building and no sales, inventory or delivery of merchandise from the building.
 - Medical, dental, optical office and clinic.
 - Parcel 'C' - The Parcel may be devoted only to single-family dwellings and to any incidental and accessory uses associated therewith that are allowed in the R-VS zoning district.
- DEVELOPMENT LIMITATIONS**
 - Parcel 'A' - A maximum of two (2) principal buildings may be located on the Parcel. The maximum gross floor area of the buildings to be located on the Parcel shall be 5,800 square feet if developed for medical offices, etc. The maximum gross floor area shall be 8,700 square feet if developed for general offices or other allowed uses, except for medical.
 - Parcel 'B' - A maximum of two (2) principal buildings may be located on the Parcel. The maximum gross floor area of the building to be located on the Parcel shall be 4,200 square feet if developed for medical offices, etc. The maximum gross floor area shall be 6,300 square feet square feet if developed for general offices or other allowed uses, except for medical.
- DIMENSIONAL STANDARDS**
 - Development of the Site shall comply with the dimensional standards of the O and R-VS zoning districts and the Special Highway Overlay District, and as summarized under Site Development Data. Per Section 155.401.7 of the Ordinance, Flexible Design Standards related to the Setback shall apply to Parcel 'C' as specified below.
 - The Setback for any heated or garage portion of the Principal Structure shall be 20'.
 - The Setback for any unheated porch or stoop shall be 14'.
- TRANSPORTATION AND PARKING**
 - Vehicle access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access points are subject to any minor modifications required to accommodate final site designs and construction plans, and to any adjustments required for approval by the Town of Mathews. Direct vehicular access to Parcels A & B shall be via the proposed internal public street. Driveway connections to Mathews-Mint Hill Road are prohibited.
 - Vehicular parking shall be provided in accordance with the requirements of the Ordinance. Driveways on single-family lots shall provide a minimum of 20' between the sidewalk and garage door.
- STREETSCAPE TREATMENT AND SIDEWALKS**
 - The existing sidewalk located along the Site's frontage on Mathews-Mint Hill Road shall be replaced by a 10' concrete Multi-Use Path (MUP). Location of the MUP and associated planting strip shall be coordinated with work proposed by NCDOT related to Hwy. 51 widening improvements. Sidewalks shall be provided along new internal streets in accordance with the requirements of the Ordinance and shall include an 8' planting strip.
- ARCHITECTURAL STANDARDS**
 - The maximum height of the buildings to be constructed on the Site shall comply with the dimensional standards of the O and R-VS zoning districts.
 - Attached to the Rezoning Plan are conceptual, schematic images of the elevations of the buildings to be constructed on the Site. These images are intended to depict the general residential architectural style, design treatment and character of the buildings. Accordingly, the elevations of the buildings to be constructed on the Site shall be designed and constructed so that the elevations are substantially similar in appearance to the attached conceptual, schematic images. Notwithstanding the foregoing, changes and alterations to the elevations of the buildings that do not materially change the overall conceptual architectural style, design treatment and character shall be permitted. Elevations of any buildings constructed on Parcels 'A' and 'B' shall be residential in style and scale, and shall have architectural elements such as entry stoops or porches, cornice details, roof lines, etc. that are similar to the proposed single-family detached dwellings.
 - The Applicant may subsequently propose additional conceptual, schematic images of the front elevations of the single-family detached dwelling units to be constructed on the Site, and such additional conceptual, schematic images must be approved by the Mathews Board of Commissioners prior to the issuance of a Building Permit for a single-family detached dwelling unit that utilizes one of the additional conceptual, schematic images for the front elevation. In addition, the Applicant will provide conceptual images of the elevations of any office building to be constructed on Parcels 'A' or 'B', and such additional conceptual images must be approved by the Mathews Board of Commissioners prior to the issuance of the associated Building Permit for that building.
 - The primary exterior building materials for single-family detached dwelling units to be constructed on the Site will be a combination of portions of the following: brick veneer or similar masonry products, stone, manufactured stone and cementitious siding.
 - Vinyl, EIFS or Masonite may not be used as an exterior building material on the single-family detached dwelling units to be constructed on the Site. Notwithstanding the foregoing, vinyl may be utilized on windows, doors, garage doors, soffits, trim and railings.
 - Each single-family detached dwelling unit constructed on the Site shall include overhangs, brackets and columns.
 - A minimum of 75% of the single-family detached dwelling units constructed on the Site shall have a covered front porch with a minimum depth of six feet (6').
 - A maximum of 25% of the single-family detached dwelling units constructed on the Site may have a covered entry stoop with a minimum depth of four feet (4').
 - Each single-family detached dwelling unit constructed on the Site shall have a minimum of three (3) risers with a minimum height of six inches (6") for each riser from the immediately adjacent sidewalk or walkway to the front stoop located at the front entry door into such single-family detached dwelling unit, and a minimum height of 24" from the adjacent street level to the front stoop located at the front entry door into such single-family detached dwelling unit.
 - The front building lines of the single-family detached dwelling units constructed on the Site shall be staggered to create a more interesting streetscape. To ensure this stagger, there shall be a minimum three-foot (3') horizontal offset between the principal front plane of adjacent dwellings on either side of any given lot. To this end, the Setback for the unheated portion of the front facade of the Principal Structure (i.e., the front porch, stoop, etc.) shall be 14' (see Note #4 above).
 - The front building line of the garage shall be set back a minimum of four feet (4') from the front building line of the front porch on each single-family detached dwelling unit.
 - Plain, large garage doors are prohibited. Two-car garages shall have two (2) single garage doors or one large garage door provided with glass panels and hardware to simulate the appearance of two (2) doors.
 - Single-family detached dwelling units located on the same side of the street and on abutting lots may not have the same front elevation design.
 - The mail kiosk for this community will be located on the site as generally depicted on the rezoning plan, and will be provided with a small structure with a roof to provide cover.
- TREE PRESERVATION AND LANDSCAPING**
 - Tree preservation areas will meet the requirements of the Ordinance and may occur in various areas within the site. Notwithstanding the foregoing, Applicant reserves the right to plant trees on the Site in lieu of retaining trees as permitted under the Ordinance.
 - In accordance with the requirements and standards of the Ordinance, Applicant shall work with and obtain the approval of the Town Arborist on the final landscaping plan for the Site.
- STORM WATER / GRADING**
 - The Site shall be designed and constructed in accordance with the requirements of the Post Construction Storm Water Regulations pursuant to Chapter 8 of the Ordinance.
 - The development of the Site shall be designed and constructed in accordance with the requirements of the Town of Mathews and Mecklenburg County with respect to erosion control and site grading.
- SIGNS**
 - All signs installed on the Site shall comply with the requirements of the Ordinance.
- BINDING EFFECT OF THE REZONING APPLICATION**
 - If this Rezoning Application is approved, all conditions applicable to the development and/or use of the Site imposed under this Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Applicant and the current and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Applicant" and "owner" or "owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Applicant or the owner or owners of the Site from time to time who may be involved in any future development thereof.



#10 - 9/30/19: Revised "Typical Lot Detail", Site Development Data (Parcel 'C', Setback), and Development Notes #4, #7.1 & #8.A.
#9 - 8/14/19: Revised Parcels 'A', 'B' & 'C' tree data and Development Notes #7.G, #7.H & #7.I and added Limits of Disturbance line per Public Hearing comments.
#8 - 7/24/19: Revised Max. No. Lots (Parcel 'C') and Development Notes #7.B, #7.C & #7.I.
#5 - 6/10/19: Rev. Development Note #7.G after review of Example Elevations.
#4 - 5/28/19: Revised per Mathews Staff review comments.
#3 - 4/29/19: Revised per Mathews Staff review comments.
#2 - 4/15/19: Revised per Petitioner request, per Mathews review comments and addition of channel / wetland info.
#1 - 3/8/19: Revised Tree Preservation information per addition of Tree Survey.



HARRIS ENGINEERING
5200 PARK ROAD
SUITE 231
CHARLOTTE, NC 28209
P (704) 334-1325
F (704) 334-1330
NC-1170 & SC-000948

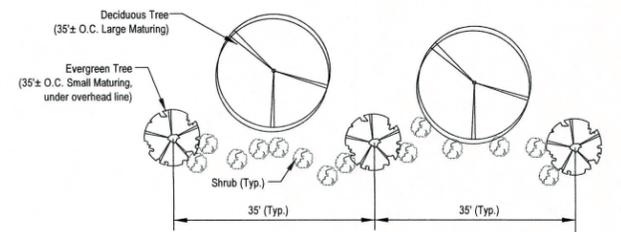
HARKEY PROPERTY
2026 Mathews-Mint Hill Road

TECHNICAL DATA SHEET FOR REZONING PETITION #2019-697

Job No.: 21901	Proj. Mgr.: WMH	Sheet No. RZ-1
Date: 2/27/19	Drawn: AW	or 8
Scale: 1" = 80'	Checked: WMH	

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6	19331167	Matthews Dental Properties, LLC 4334 Briley Ln. Harrisburg, NC 28105	21009-725
7	21510202	Charlotte-Mecklenburg Board of Education PO Box 30035 Charlotte, NC 28230	08115-808
8	21510222	Charlotte-Mecklenburg Board of Education PO Box 30035 Charlotte, NC 28230	08115-802
9	21518207	Elizabeth R. Wilson & Woodrow E. Wilson 2108 Kimway Drive Matthews, NC 28105	02964-164
10	21518208	Andrea Fairfax & Sean Farrow 2040 Kimway Drive Matthews, NC 28105	11708-618
11	21518209	Michael Caserio 2036 Kimway Drive Matthews, NC 28105	30113-770
12	21518210	Mary H. Hastings & Mehen H. Hastings 2030 Kimway Drive Matthews, NC 28105	04548-095
13	21518211	Lula Hargett Medlin 2024 Kimway Drive Matthews, NC 28105	02166-400
14	21518212	Michael Gosall 2016 Kimway Drive Matthews, NC 28105	10293-315
15	21518213	Enrique M. Cervantes & Maria V. Romeo 2008 Kimway Drive Matthews, NC 28105	30380-602
16	21518214	Tyler J. Stallings & Madison Carroll 1924 Kimway Drive Matthews, NC 28105	32474-847
17	21518215	Callisto L. Mullis & Gary P. Mullis 1916 Kimway Drive Matthews, NC 28105	26285-374
18	21518216	Brittany A. Sandy & Russell T. Lertz 1908 Kimway Drive Matthews, NC 28105	31909-565
19	21518217	Sylvia J. Smith & John Muffitt Smith 1900 Kimway Drive Matthews, NC 28105	02929-576
20	21518219	Jenne Marie Orlik 1824 Kimway Drive Matthews, NC 28105	31311-372
21	21518220	Alan R. Wisbaum & Monica S. Wisbaum 1816 Kimway Drive Matthews, NC 28105	20248-481
22	21518221	Amazin Properties, LLC 3019 Alton Ln. Southport, NC 28461	26742-350
23	21518222	Bernard Michalik 1710 Kimway Drive Matthews, NC 28105	28957-598

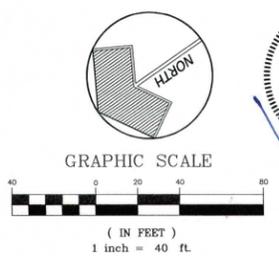
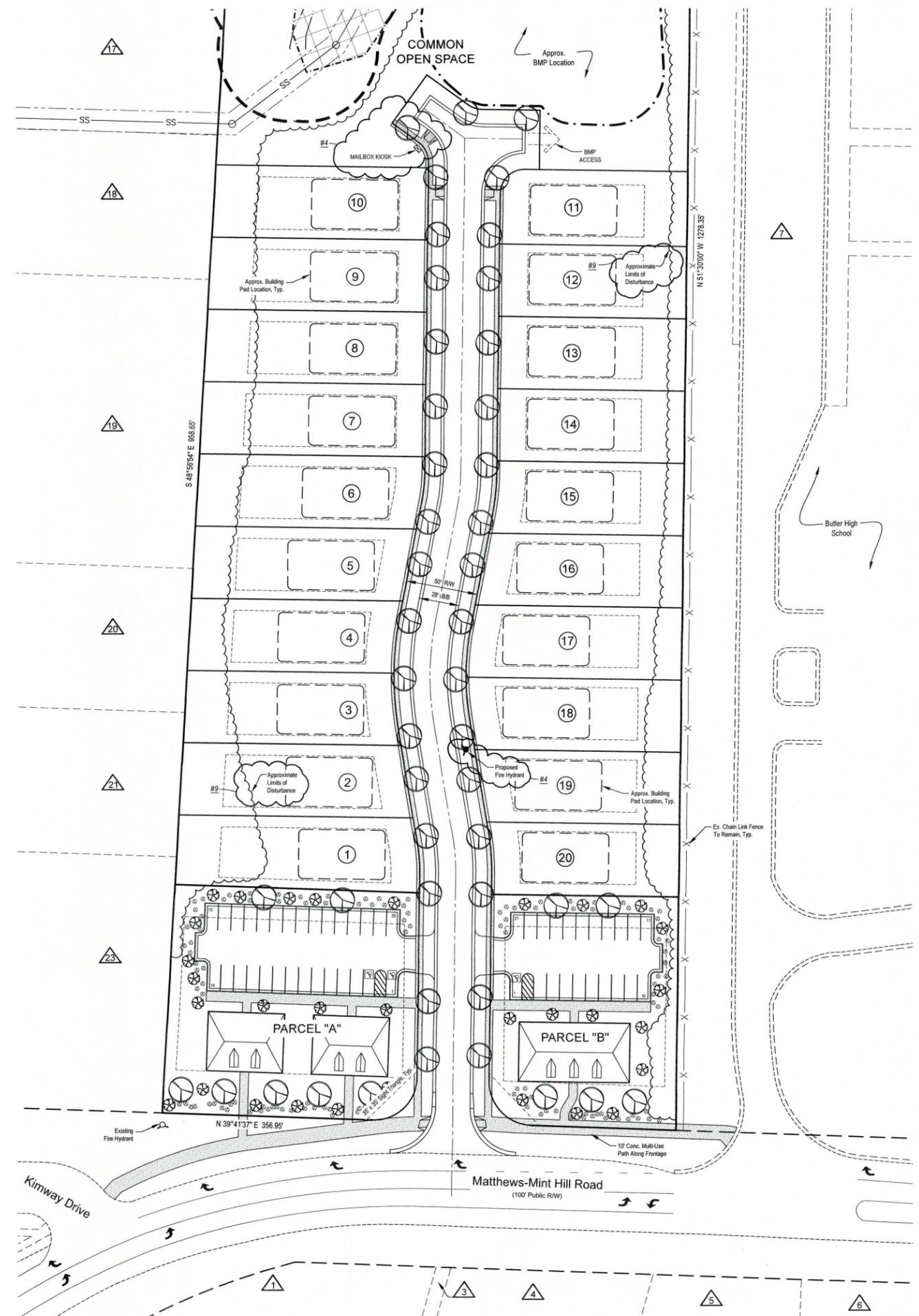


Shrubs: 14 per 70'
Trees: 5 per 70'

Matthews-Mint Hill Road Planting Detail
N.T.S.

Illustrative Site Plan Note

The development and uses depicted on this Illustrative Plan are schematic in nature and are intended to depict the general arrangement of the uses and improvements on the Parcels. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on this Illustrative Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the requirements set forth on this Rezoning Plan, the Development Standards, and/or the applicable provisions of the Town of Matthews Unified Development Ordinance, provided, however, that any such alterations and modifications shall not materially change the overall design intent depicted on the Rezoning Plan.



HARKEY PROPERTY
2026 Matthews-Mint Hill Road

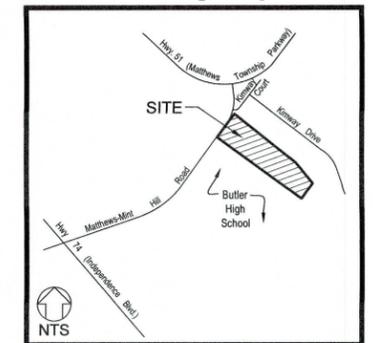
ILLUSTRATIVE SITE PLAN
FOR
REZONING PETITION #2019-697

Job No.: 21901	Proj. Mgr.: WMH	Sheet No. RZ-2
Date: 2/27/19	Drawn: AW	of 8
Scale: 1" = 40'	Checked: WMH	

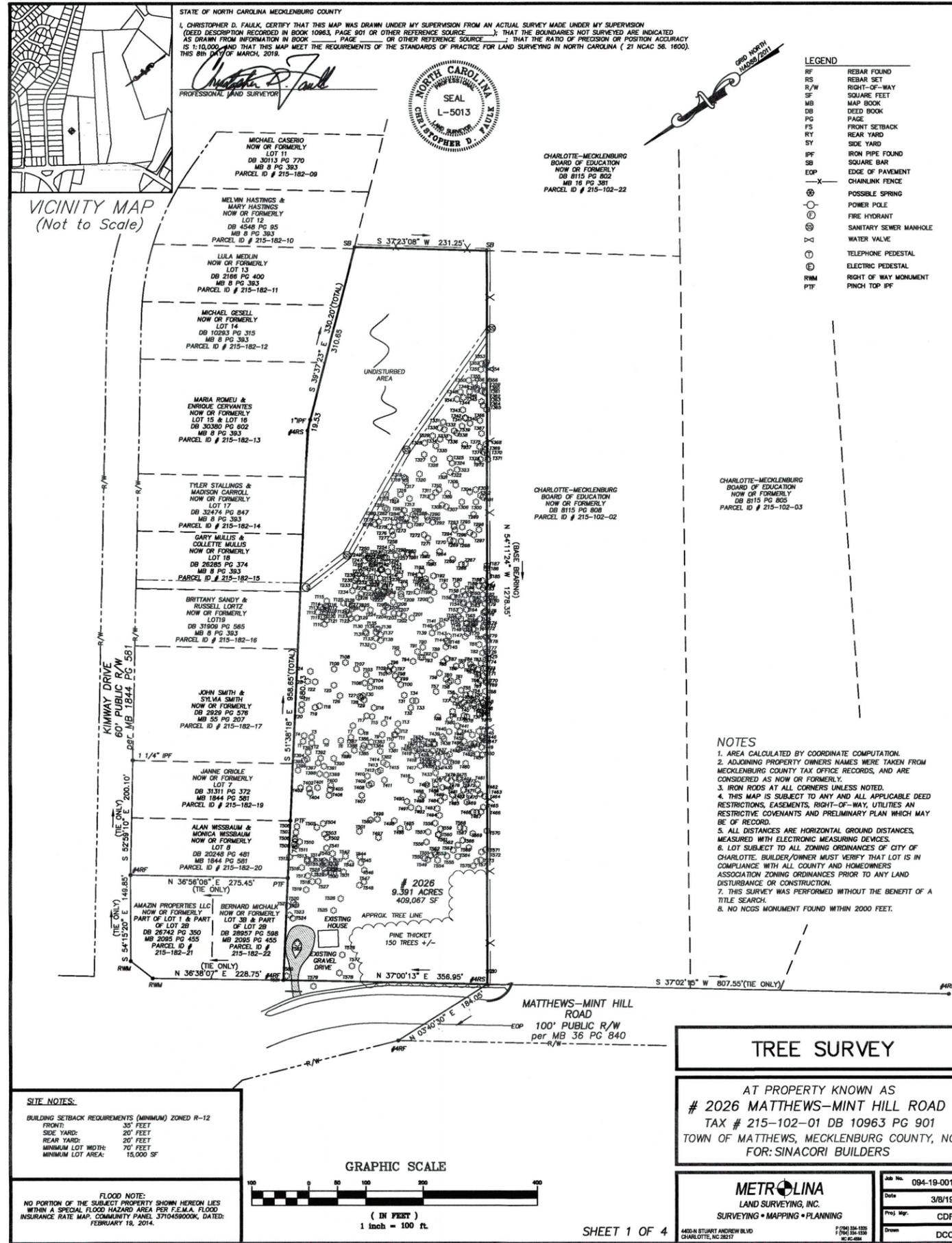
HARRIS ENGINEERING
5200 PARK ROAD
SUITE 231
CHARLOTTE, NC 28209
P (704) 334-1325
F (704) 334-1330
NC-1179 & SC-103046

#9 - 8/14/19: Added Limits of Disturbance line per Public Hearing comments.
#4 - 5/28/19: Revised per Matthews Staff review comments.
#3 - 4/29/19: Revised per Matthews Staff review comments.
#2 - 4/15/19: Revised Site Plan.
Revision Summary

Vicinity Map



S:\MESA\2019\094 SINACORI BUILDERS\094-19-001 2026 MATTHEWS-MINTHILL ROAD\MATTHEWS-MINT HILL ROAD TREE SURVEY.dwg



#3 - 4/29/19: Revised to add Petition No. & Update Sheet total.
 #1 - 3/8/19: Updated Survey per addition of Tree information.
 Revision Summary

HE	HARKEY PROPERTY 2026 Matthews-Mint Hill Road	
	BOUNDARY & TREE SURVEY FOR REZONING PETITION #2019-697	
Job No.: 21901	Proj. Mgr.: WMH	Sheet No. RZ-3
Date: 2/27/19	Drawn: AW	of 8
Scale: NOTED	Checked: WMH	



VICINITY MAP

S:\L\ESA\2019\094 SINACORI BUILDERS\094-19-001 2026 MATTHEWS-MINT HILL ROAD\MATTHEWS-MINT HILL ROAD TREE SURVEY.dwg

NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES
T1	SWEET GUM	8"	T51	OAK	20"	T101	PINE	16"	T151	HICKORY	18"	T190	PINE	14"
T2	SWEET GUM	12"	T52	PINE	16"	T102	PINE	16"	T152	PINE	7"	T191	CEDAR	12"
T3	SWEET GUM	16"	T53	OAK	10"	T103	PINE	16"	T153	PINE	12"	T192	OAK	12"
T4	SWEET GUM	20"	T54	OAK	8"	T104	SWEET GUM	18"	T154	SWEET GUM	17"	T193	PINE	12"
T5	SWEET GUM	10"	T55	OAK	19"	T105	PINE	14"	T155	SWEET GUM	20"	T194	PINE	12"
T6	SWEET GUM	10"	T56	PINE	14"	T106	PINE	18"	T156	OAK	20"	T195	PINE	12"
T7	PINE	17"	T57	PINE	18"	T107	SWEET GUM	30"	T157	SWEET GUM	12"	T196	PINE	8"
T8	OAK	10"	T58	PINE	13"	T108	SWEET GUM	8"	T158	BEECH	14"	T197	OAK	8"
T9	PINE	10"	T59	OAK	8"	T109	SWEET GUM	26"	T159	SWEET GUM	18"	T198	OAK	7"
T10	OAK	10"	T60	PINE	17"	T110	SWEET GUM	8"	T160	PINE	20"	T199	PINE	18"
T11	PINE	16"	T61	SWEET GUM	22"	T111	SWEET GUM	12"	T161	PINE	9"	T200	OAK	14"
T12	OAK	7"	T62	SWEET GUM	9"	T112	SWEET GUM (TWIN)	20"	T162	PINE	11"	T201	SWEET GUM	28"
T13	OAK	21"	T63	PINE	10"	T113	SWEET GUM	12"	T163	PINE	7"	T202	SWEET GUM	12"
T14	OAK	12"	T64	PINE	8"	T114	SWEET GUM	14"	T164	SWEET GUM	11"	T203	SWEET GUM	12"
T15	OAK	14"	T65	PINE	8"	T115	SWEET GUM	10"	T165	PINE	14"	T204	SWEET GUM	16"
T16	SWEET GUM	8"	T66	PINE	6"	T116	SWEET GUM	18"	T166	PINE	15"	T205	SWEET GUM	16"
T17	OAK	30"	T67	PINE	8"	T117	SWEET GUM	18"	T167	CEDAR	18"	T206	SWEET GUM	7"
T18	SWEET GUM	12"	T68	PINE	6"	T118	SWEET GUM	8"	T168	PINE	8"	T207	SWEET GUM	12"
T19	SWEET GUM	22"	T69	PINE	6"	T119	SWEET GUM	20"	T169	PINE	16"	T208	SWEET GUM	7"
T20	SWEET GUM	7"	T70	PINE	9"	T120	SWEET GUM	18"	T170	OAK	7"	T209	SWEET GUM	16"
T21	SWEET GUM	13"	T71	PINE	6"	T121	SWEET GUM	15"	T171	OAK	10"	T210	SWEET GUM	18"
T22	SWEET GUM	30"	T72	PINE	8"	T122	SWEET GUM	15"	T172	PINE	6"	T211	PINE	12"
T23	SWEET GUM	20"	T73	PINE	8"	T123	SWEET GUM	15"	T173	PINE	6"	T212	OAK	8"
T24	SWEET GUM	22"	T74	PINE	8"	T124	SWEET GUM	14"	T174	SWEET GUM	8"	T213	PINE	14"
T25	SWEET GUM	20"	T75	PINE	6"	T125	SWEET GUM	11"	T175	SWEET GUM	16"	T214	SWEET GUM	13"
T26	SWEET GUM	16"	T76	PINE	6"	T126	SWEET GUM	11"	T176	PINE	16"	T215	SWEET GUM	9"
T27	SWEET GUM	9"	T77	SWEET GUM	8"	T127	SWEET GUM	11"	T177	SWEET GUM	12"	T216	SWEET GUM	13"
T28	PINE	9"	T78	OAK	7"	T128	SWEET GUM	8"	T178	PINE	14"	T217	SWEET GUM	13"
T29	PINE	12"	T79	OAK	8"	T129	SWEET GUM	18"	T179	PINE	8"	T218	SWEET GUM	9"
T30	BEECH	7"	T80	PINE	6"	T130	CEDAR	7"	T180	PINE	12"	T219	SWEET GUM	10"
T31	SWEET GUM	16"	T81	SWEET GUM	10"	T131	SWEET GUM	12"	T181	PINE	8"	T220	SWEET GUM	14"
T32	HICKORY	10"	T82	SWEET GUM	10"	T132	SWEET GUM	17"	T182	PINE	11"	T221	SWEET GUM	11"
T33	OAK	10"	T83	PINE	7"	T133	SWEET GUM	20"	T183	SWEET GUM	14"	T222	SWEET GUM	9"
T34	OAK	6"	T84	PINE	7"	T134	SWEET GUM	20"	T184	SWEET GUM	16"	T223	SWEET GUM	7"
T35	OAK	6"	T85	SWEET GUM	8"	T135	SWEET GUM	12"	T185	PINE	14"	T224	SWEET GUM	19"
T36	OAK	7"	T86	PINE	15"	T136	SWEET GUM	14"	T186	SWEET GUM	12"	T225	SWEET GUM	7"
T37	OAK	7"	T87	OAK	6"	T137	SWEET GUM	18"	T187	SWEET GUM	16"	T226	SWEET GUM	8"
T38	PINE	12"	T88	OAK	10"	T138	SWEET GUM	20"	T188	PINE	6"	T227	SWEET GUM	15"
T39	PINE	12"	T89	SWEET GUM	15"	T139	CEDAR (TWIN)	9"	T189	PINE	8"	T228	SWEET GUM	9"
T40	SWEET GUM	8"	T90	OAK	14"	T140	SWEET GUM	11"						
T41	PINE	16"	T91	SWEET GUM	22"	T141	OAK	7"						
T42	CEDAR	8"	T92	CEDAR	10"	T142	PINE	11"						
T43	PINE	18"	T93	OAK	25"	T143	PINE	14"						
T44	PINE	18"	T94	SWEET GUM	10"	T144	OAK	15"						
T45	OAK	8"	T95	OAK	16"	T145	PINE	18"						
T46	OAK	6"	T96	OAK	12"	T146	PINE	20"						
T47	OAK	10"	T97	OAK	6"	T147	OAK	6"						
T48	OAK	6"	T98	OAK	6"	T148	OAK	8"						
T49	OAK	8"	T99	PINE	16"	T149	CEDAR	7"						
T50	OAK	10"	T100	OAK	7"	T150	CEDAR	7"						

TREE SURVEY

AT PROPERTY KNOWN AS
2026 MATTHEWS-MINT HILL ROAD
TAX # 215-102-01 DB 10963 PG 901
TOWN OF MATTHEWS, MECKLENBURG COUNTY, NC
FOR: SINACORI BUILDERS



SHEET 2 OF 4

METROLINA
LAND SURVEYING, INC.
SURVEYING • MAPPING • PLANNING

4420N STUART ANDREW BLVD
CHARLOTTE, NC 28217

P (704) 334-1325
F (704) 334-1330
NC 01-0014

Job No. 094-19-001
Date 2/21/19
Proj. Mgr. CDF
Drawn DCC

S:\2019\21901 - SINACORI MATTHEWS-MINT HILL ROAD\21901 - Rezoning\21901 - Rezoning.dwg

HARRIS ENGINEERING
5200 PARK ROAD
SUITE 231
CHARLOTTE, NC 28209
P (704) 334-1325
F (704) 334-1330
NC 01-1178 & 01-00946

HARKEY PROPERTY
2026 Matthews-Mint Hill Road

TREE SURVEY DATA TABLE
FOR
REZONING PETITION #2019-697

Job No.: 21901	Proj. Mgr.: WMH	Sheet No. RZ-4
Date: 3/8/19	Drawn: AW	of 8
Scale: NTS	Checked: WMH	



VICINITY MAP

NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES
T229	SWEET GUM	20"	T279	BEECH	6"	T329	OAK	10"	T379	SWEET GUM	7"	T418	OAK	12"
T230	SWEET GUM	10"	T280	SWEET GUM	10"	T330	SWEET GUM	16"	T380	PINE	18"	T419	PINE	14"
T231	SWEET GUM	10"	T281	BEECH	10"	T331	SWEET GUM	10"	T381	PINE	20"	T420	PINE	12"
T232	SWEET GUM	12"	T282	SWEET GUM	10"	T332	SWEET GUM	8"	T382	PINE	18"	T421	OAK	12"
T233	SWEET GUM	13"	T283	SWEET GUM	15"	T333	SWEET GUM	12"	T383	SWEET GUM	12"	T422	SWEET GUM	10"
T234	SWEET GUM	15"	T284	SWEET GUM	8"	T334	SWEET GUM	14"	T384	SWEET GUM	8"	T423	SWEET GUM	8"
T235	SWEET GUM	10"	T285	SWEET GUM	14"	T335	SWEET GUM14"	6"	T385	CHERRY	6"	T424	SWEET GUM	10"
T236	SWEET GUM	8"	T286	SWEET GUM	9"	T336	SWEET GUM	8"	T386	SWEET GUM	7"	T425	SWEET GUM	6"
T237	SWEET GUM	10"	T287	OAK	16"	T337	OAK	10"	T387	SWEET GUM	10"	T426	SWEET GUM	8"
T238	SWEET GUM	8"	T288	OAK	6"	T338	OAK	6"	T388	SWEET GUM	10"	T427	SWEET GUM	6"
T239	BEECH	6"	T289	OAK	8"	T339	OAK	6"	T389	SWEET GUM	12"	T428	SWEET GUM	6"
T240	SWEET GUM	6"	T290	OAK	7"	T340	OAK	8"	T390	SWEET GUM	14"	T429	OAK	18"
T241	SWEET GUM	8"	T291	OAK	6"	T341	SWEET GUM	7"	T391	SWEET GUM	12"	T430	OAK	16"
T242	SWEET GUM	6"	T292	OAK	6"	T342	SWEET GUM	8"	T392	SWEET GUM	6"	T431	SWEET GUM	8"
T243	SWEET GUM	16"	T293	OAK	9"	T343	SWEET GUM	15"	T393	SWEET GUM	6"	T432	SWEET GUM	9"
T244	CEDAR	6"	T294	OAK	6"	T344	PINE	8"	T394	SWEET GUM	10"	T433	SWEET GUM	10"
T245	SWEET GUM	14"	T295	OAK	7"	T345	PINE	12"	T395	SWEET GUM	6"	T434	SWEET GUM	6"
T246	SWEET GUM	11"	T296	SEET GUM	12"	T346	SWEET GUM	9"	T396	SWEET GUM	18"	T435	SWEET GUM	8"
T247	SWEET GUM	12"	T297	SWEET GUM	12"	T347	PINE	15"	T397	SWEET GUM	8"	T436	PINE	14"
T248	SWEET GUM	12"	T298	OAK	12"	T348	SWEET GUM	9"	T398	SWEET GUM	12"	T437	SWEET GUM	8"
T249	BEECH	8"	T299	SWEET GUM	12"	T349	PINE	12"	T399	SWEET GUM	14"	T438	SWEET GUM	6"
T250	SWEET GUM	19"	T300	OAK	10"	T350	PINE	12"	T400	SWEET GUM	12"	T439	SWEET GUM	12"
T251	SWEET GUM	8"	T301	CEDAR	6"	T351	OAK	12"	T401	SWEET GUM	12"	T440	SWEET GUM	12"
T252	SWEET GUM	12"	T302	CEDAR	6"	T352	SWEET GUM	12"	T402	SWEET GUM	10"	T441	SWEET GUM	10"
T253	BEECH	6"	T303	SWEET GUM	15"	T353	SWEET GUM	8"	T403	SWEET GUM	12"	T442	SWEET GUM	6"
T254	SWEET GUM	8"	T304	SWEET GUM	12"	T354	SWEET GUM	18"	T404	OAK	12"	T443	OAK	10"
T255	SWEET GUM	10"	T305	SWEET GUM	9"	T355	SWEET GUM	8"	T405	PINE	12"	T444	PINE	16"
T256	SWEET GUM	10"	T306	OAK	21"	T356	PINE	9"	T406	SWEET GUM (TRIPLE)	10"	T445	PINE	12"
T257	OAK	8"	T307	OAK	18"	T357	SWEET GUM	8"	T407	SWEET GUM	12"	T446	PINE	10"
T258	SWEET GUM	16"	T308	SWEET GUM	8"	T358	PINE	16"	T408	SWEET GUM	8"	T447	SWEET GUM	6"
T259	PINE	16"	T309	OAK	14"	T359	SWEET GUM	10"	T409	SWEET GUM	10"	T448	PINE	14"
T260	OAK	10"	T310	OAK	8"	T360	PINE	11"	T410	SWEET GUM	12"	T449	PINE	12"
T261	SWEET GUM	20"	T311	SWEET GUM	16"	T361	PINE	15"	T411	CEDAR	15"	T450	SWEET GUM	10"
T262	SWEET GUM	28"	T312	SWEET GUM	14"	T362	SWEET GUM	10"	T412	SWEET GUM	8"	T451	PINE	10"
T263	PINE	18"	T313	SWEET GUM	16"	T363	PINE	12"	T413	PINE	18"	T452	CEDAR	8"
T264	SWEET GUM	21"	T314	SWEET GUM	18"	T364	OAK	14"	T414	SWEET GUM	8"	T453	PINE	18"
T265	OAK	21"	T315	SWEET GUM	19"	T365	OAK	10"	T415	SWEET GUM	8"	T454	CEDAR	7"
T266	OAK	8"	T316	SWEET GUM	18"	T366	OAK	18"	T416	PINE	18"	T455	PINE (TWIN)	12"
T267	SWEET GUM	12"	T317	SWEET GUM	18"	T367	OAK	16"	T417	OAK	10"	T456	CEDAR	8"
T268	OAK	10"	T318	OAK	11"	T368	OAK	20"						
T269	OAK	9"	T319	BEECH	10"	T369	OAK	8"						
T270	OAK	32"	T320	OAK (TWIN)	30"	T370	OAK	8"						
T271	SWEET GUM	10"	T321	SWEET GUM	10"	T371	OAK	12"						
T272	SWEET GUM	10"	T322	SWEET GUM	14"	T372	CEDAR	9"						
T273	SWEET GUM	18"	T323	SWEET GUM	10"	T373	PINE	15"						
T274	SWEET GUM	7"	T324	SWEET GUM	12"	T374	PINE	14"						
T275	SWEET GUM	11"	T325	SWEET GUM	4"	T375	OAK	8"						
T276	SWEET GUM	11"	T326	SWEET GUM	8"	T376	OAK	12"						
T277	SWEET GUM	18"	T327	SWEET GUM	8"	T377	OAK	6"						
T278	SWEET GUM	16"	T328	SWEET GUM	16"	T378	SWEET GUM	12"						

S:\MESA\2019\084 SINACORI BUILDERS\084-19-001 2026 MATTHEWS-MINT HILL ROAD MATTHEWS-MINT HILL ROAD TREE SURVEY.dwg

TREE SURVEY

AT PROPERTY KNOWN AS
2026 MATTHEWS-MINT HILL ROAD
TAX # 215-102-01 DB 10963 PG 901
TOWN OF MATTHEWS, MECKLENBURG COUNTY, NC
FOR: SINACORI BUILDERS



METROLINA
LAND SURVEYING, INC.
SURVEYING • MAPPING • PLANNING

480-A STUART ANDREW BLVD
CHARLOTTE, NC 28217

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F (704) 334-1330
NC 0C-0861

Job No. 084-19-001
Date 3/8/19
Proj. Mgr. CDF
Drawn DCC

SHEET 3 OF 4

S:\2019\21901 - SINACORI MATTHEWS\084\084-19-001 2026 MATTHEWS-MINT HILL ROAD MATTHEWS-MINT HILL ROAD TREE SURVEY.dwg

#3 - 4/29/19: Revised to add Petition No. & Update Sheet total.
Revision Summary

HARKEY PROPERTY
2026 Matthews-Mint Hill Road

TREE SURVEY DATA TABLE
FOR
REZONING PETITION #2019-697

Job No.: 21901	Proj. Mgr.: WMH	Sheet No. RZ-5
Date: 3/8/19	Drawn: AW	of 8
Scale: NTS	Checked: WMH	

HARRIS ENGINEERING
 5200 PARK ROAD
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 F (704) 334-1330
 NC 0C-1170 & 0C 4C03946



VICINITY MAP

NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES	NUMBER	SPECIES	DIAMETER/ INCHES
T457	PINE	12"	T507	SWEET GUM	8"	T557	SWEET GUM	12"
T458	SWEET GUM	15"	T508	SWEET GUM	10"	T558	PINE	16"
T459	PINE	14"	T509	SWEET GUM	6"	T559	SWEET GUM	12"
T460	SWEET GUM	16"	T510	SWEET GUM	10"	T560	SWEET GUM	8"
T461	PINE	18"	T511	SWEET GUM	6"	T561	SWEET GUM	10"
T462	PINE	16"	T512	PINE	19"	T562	OAK	24"
T463	SWEET GUM	14"	T513	CHERRY	10"	T563	OAK	10"
T464	SWEET GUM	8"	T514	OAK	8"	T564	OAK	12"
T465	SWEET GUM	6"	T515	CEDAR	8"	T565	SWEET GUM	10"
T466	PINE	20"	T516	OAK	23"	T566	SWEET GUM	10"
T467	SWEET GUM	7"	T517	SWEET GUM	9"	T567	OAK	18"
T468	PINE	18"	T518	SWEET GUM	10"	T568	OAK	20"
T469	OAK	8"	T519	SWEET GUM	9"	T569	OAK	28"
T470	CEDAR	12"	T520	SWEET GUM	7"	T570	OAK	22"
T471	CEDAR	10"	T521	PINE	10"	T571	PINE	11"
T472	CEDAR	8"	T522	PINE	15"	T572	PINE	8"
T473	CEDAR	10"	T523	SWEET GUM	8"	T573	PINE	12"
T474	SWEET GUM	9"	T524	PINE	14"	T574	SWEET GUM	8"
T475	SWEET GUM	8"	T525	SWEET GUM	24"	T575	SWEET GUM	10"
T476	SWEET GUM	6"	T526	CHERRY (QUAD)	10"	T576	OAK	10"
T477	OAK	10"	T527	SWEET GUM	6"	T577	PINE	24"
T478	PINE	20"	T528	SWEET GUM	10"	T578	PECAN	14"
T479	SWEET GUM	12"	T529	SWEET GUM	8"	T579	PECAN	16"
T480	OAK	12"	T530	CHERRY	10"	T580	PINE	10"
T481	CEDAR (TWIN)	10"	T531	CEDAR	10"	T581	OAK	12"
T482	PINE	14"	T532	SWEET GUM	10"	T582	WILLOW OAK	9"
T483	PINE	14"	T533	SWEET GUM	6"			
T484	PINE	14"	T534	CHERRY	8"			
T485	CEDAR	12"	T535	OAK	15"			
T486	SWEET GUM	8"	T536	OAK	14"			
T487	OAK	12"	T537	CEDAR	10"			
T488	SWEET GUM	8"	T538	CHERRY (TWIN)	9"			
T489	SWEET GUM	8"	T539	CHERRY	11"			
T490	SWEET GUM	12"	T540	CEDAR	9"			
T491	SWEET GUM	8"	T541	CHERRY	8"			
T492	SWEET GUM	12"	T542	SWEET GUM	10"			
T493	PINE	14"	T543	SWEET GUM	10"			
T494	CEDAR	20"	T544	SWEET GUM	8"			
T495	PECAN	8"	T545	SWEET GUM	9"			
T496	CEDAR	18"	T546	BLACK WALNUT	12"			
T497	SWEET GUM	12"	T547	CHERRY	10"			
T498	OAK	10"	T548	CHERRY	8"			
T499	PECAN	8"	T549	OAK	16"			
T500	PECAN	12"	T550	CEDAR	13"			
T501	PECAN	14"	T551	PINE	12"			
T502	SWEET GUM	16"	T552	SWEET GUM	10"			
T503	SWEET GUM	12"	T553	PINE	16"			
T504	SWEET GUM	18"	T554	CEDAR	10"			
T505	SWEET GUM	10"	T555	OAK	20"			
T506	SWEET GUM	10"	T556	CHERRY	10"			

S:_MESA\2019\094 SINACORI BUILDERS\094-19-001 2026 MATTHEWS-MINTHILL ROAD MATTHEWS-MINT HILL ROAD TREE SURVEY.dwg

TREE SURVEY

AT PROPERTY KNOWN AS
2026 MATTHEWS-MINT HILL ROAD
TAX # 215-102-01 DB 10963 PG 901
TOWN OF MATTHEWS, MECKLENBURG COUNTY, NC
FOR: SINACORI BUILDERS



METROLINA LAND SURVEYING, INC. SURVEYING • MAPPING • PLANNING 4400 N STUART ANDREW BLVD CHARLOTTE, NC 28217	Job No. 094-19-001
	Date 3/8/19
	Proj. Mgr. CDF
	Drawn DCC

SHEET 4 OF 4

S:_MESA\2019\094 SINACORI BUILDERS\094-19-001 2026 MATTHEWS-MINTHILL ROAD MATTHEWS-MINT HILL ROAD TREE SURVEY.dwg

<p>HARRIS ENGINEERING 5200 PARK ROAD SUITE 231 CHARLOTTE, NC 28209 P (704) 334-1325 F (704) 334-1330 NC-1170 & SC-100846</p>	HARKEY PROPERTY 2026 Matthews-Mint Hill Road		
	TREE SURVEY DATA TABLE FOR REZONING PETITION #2019-697		
	Job No.: 21901 Date: 3/8/19 Scale: NTS	Proj. Mgr.: WMH Drawn: AW Checked: WMH	Sheet No. RZ-6 of 8

#3 - 4/29/19: Revised to add Petition No. & Update Sheet total.
Revision Summary



Elevation - House Plan #1



Elevation - House Plan #2



Elevation - House Plan #3



Elevation - House Plan #4



Elevation - Single Story Office Building

 HARRIS ENGINEERING 5200 PARK ROAD SUITE 231 CHARLOTTE, NC 28209 P (704) 334-1325 F (704) 334-1330 NC IC-1176 & SC IC-00965	HARKEY PROPERTY		
	2026 Matthews-Mint Hill Road		
	BUILDING ELEVATIONS FOR REZONING PETITION #2019-697		
	Job No.: 21901	Proj. Mgr.: WMH	Sheet No.
Date: 4/29/19	Drawn: AW	RZ-7	
Scale: NTS	Checked: WMH	Of 8	

#8 - 7/25/19: Added updated Office Building Elevation.
 #7 - 7/24/19: Removed Office Building Elevation & added Elevation Pending Label.
 #5 - 7/8/19: Revised Elevations per Client request.
 Revision Summary