



## THE KEITH CORPORATION

February 25, 2020

Jay Camp, AICP  
Senior Planner  
Planning and Development  
Town of Matthews  
232 Matthews Station Street  
Matthews, NC 28105

**RE: Administrative Amendment Request for 630 Matthews Township Parkway (former Rite Aid)**

Jay,

This letter is to address some changes to the elevations and our plans for the property at 630 Matthews Township Parkway following the Board of Commissioners meeting on January 13, 2020 and a small group session meeting with John Urban, Larry Whitely and Renee Garner from the Board of Commissioners and Mary Jo Gollnitz from the Town of Matthews. Included with this letter is an 11 x 17 of the updated elevations as well as the site plan. Below I have listed the changes from the plans presented at the November meeting. These changes were driven by a suggestion of the Board of Commissioners.

1. On the Johns Street Elevation – additional windows were added along with updated lighting fixtures and window shades. Windows will be spandrel glass to provide for privacy. Landscaping elements were also added including decorative screens on the far left of the Elevation.
2. On the Matthews Township Parkway Elevation – shades added above the windows to be consistent with the John Street Elevation. Updated lighting to match the Johns Street Elevation was also added.

I look forward to the March 9, 2020 meeting to discuss our plans. I would like to thank the Board of Commissioners for their participation and assistance in directing us to an agreeable solution for this Administrative Amendment.

Please contact me with any questions at (704) 942-7826 if there is any additional information we can provide in support of this request.

Respectfully,



Alan Jenkins  
Partner, Healthcare Development, Leasing and Acquisitions

*Note Change & Elevation Approval*

Board of Commissioners

**APPROVED**

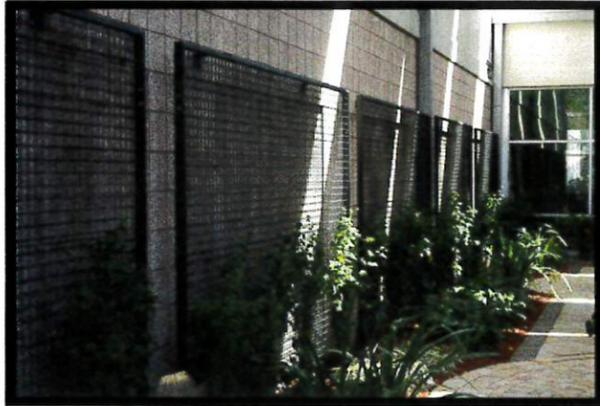
3/9/2020



Lori Canapinno, Town Clerk

**Real Estate Development/Brokerage/ Management Services**  
4500 Cameron Valley Parkway, Suite 400 • Charlotte, North Carolina 28211  
Telephone 704-365-6000 • Facsimile 704 365-0733 • [www.thekeithcorp.com](http://www.thekeithcorp.com)

ECO MESH



AWNING LOUVERS



WALL LIGHTS



DRAFT  
02/19/2020

MATTHEWS VILLAGE M.O.B. RENOVATION  
THE KEITH CORPORATION  
N.C. HWY. 51  
BY-PASS & WEST JOHN ST.

DRAWING STATUS:  
● PRELIMINARY  
NOT FOR CONSTRUCTION  
○ ISSUED FOR  
BIDDING  
○ ISSUED FOR  
CONSTRUCTION

OWNER / CLIENT SIGNATURE:  
DATE:

FILE NAME:  
PROJECT NO.:  
c19099  
SHEET TITLE:  
SHEET:

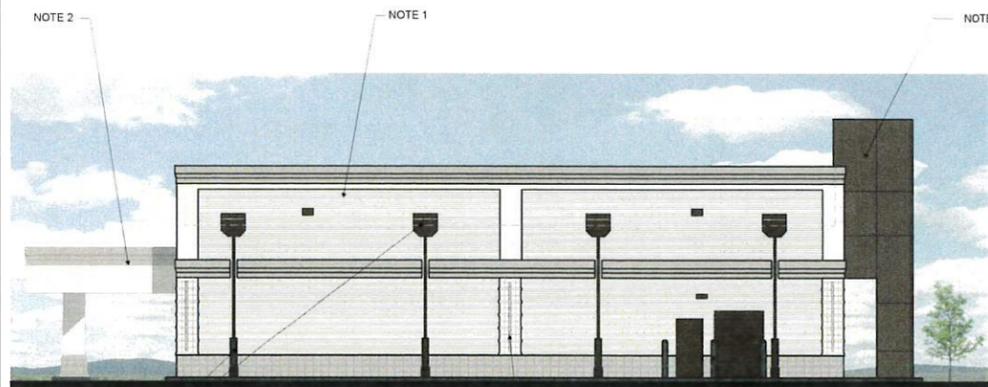
Copyright © 2019 Merriman Schmitt/Architects, Inc.



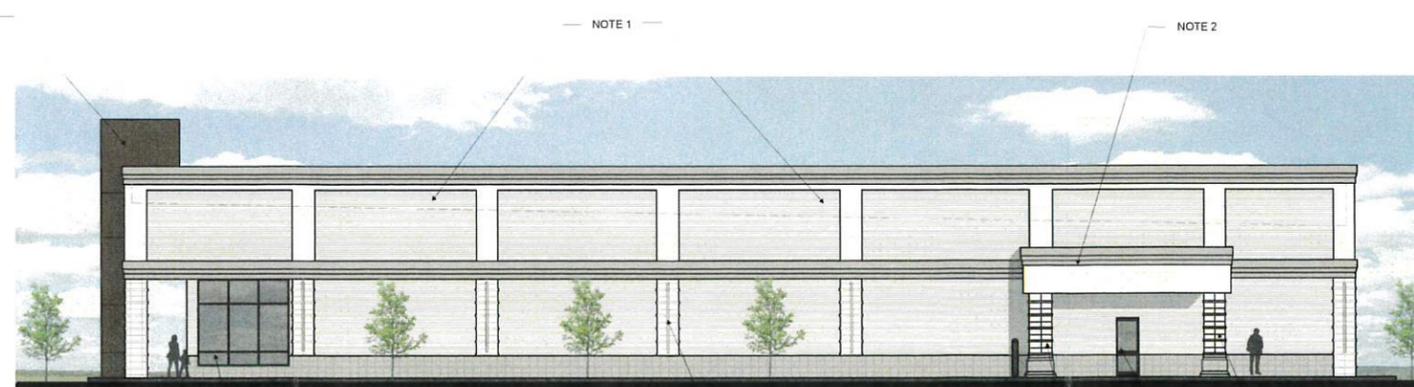
1 ELEVATION A  
SCALE: 1/8" = 1'-0"



2 ELEVATION B  
SCALE: 1/8" = 1'-0"



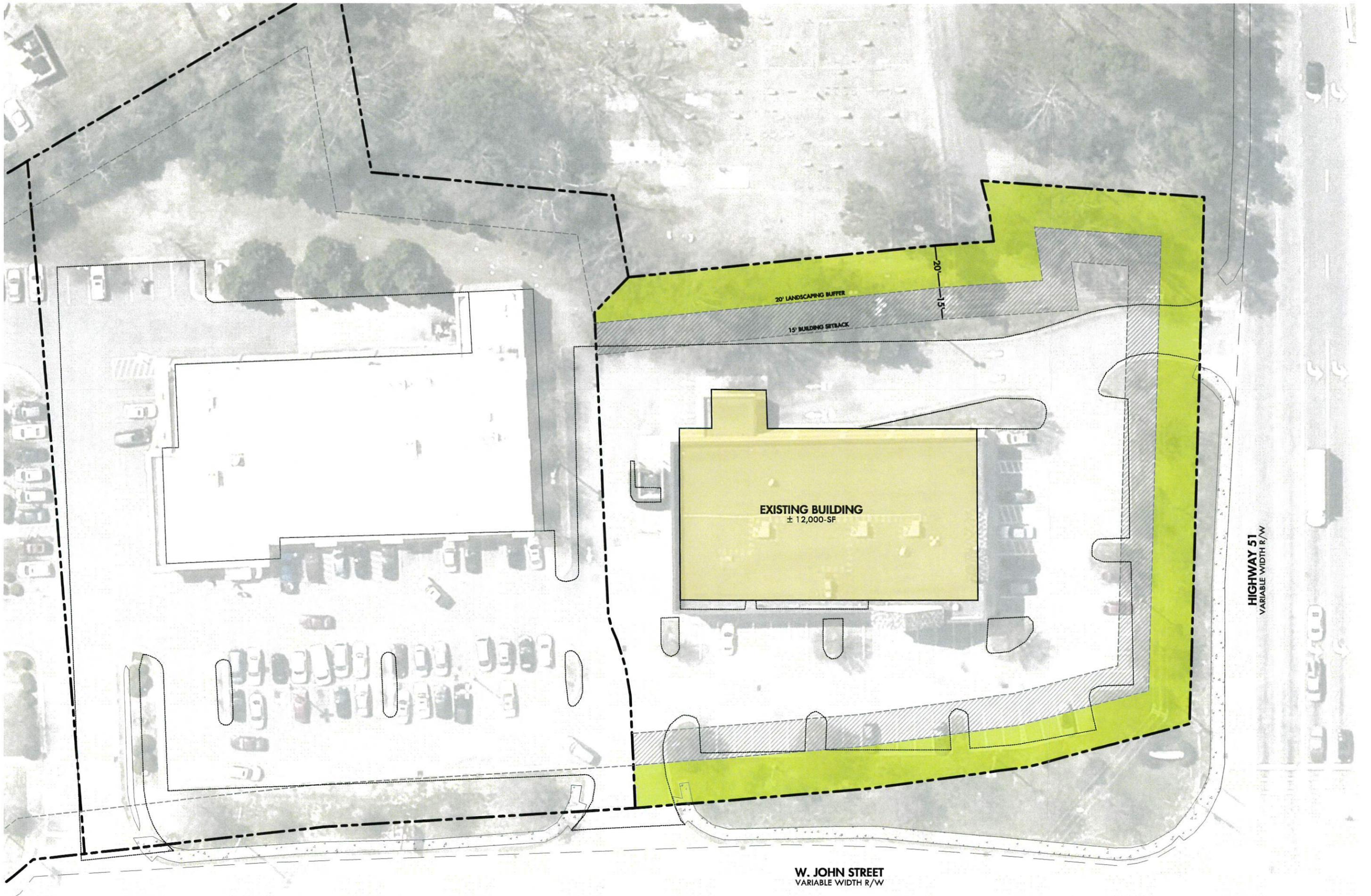
3 ELEVATION C  
SCALE: 1/8" = 1'-0"



4 ELEVATION D  
SCALE: 1/8" = 1'-0"

- NOTES:
1. ALL BRICK AND MASONRY TO BE CLEANED, PREPPED AND PAINTED WITH (1) BASE COLOR AND (2) ACCENT COLOR. COLUMNS TO BE PAINTED WHITE.
  2. REPAIR EXISTING CANOPY - TO REMAIN.
  3. SAWCUT NEW OPENINGS TO ENLARGE EXISTING WINDOWS TO HAVE AN 18" SILL - BRONZE ALUMINUM WITH BRONZE TINTED 1" INSULATED GLASS.
  4. SAWCUT NEW OPENING AND ADD SOTREFRONT ENTRANCE (SINGLE DOOR AS EMPLOYEE ENTRY) (HANDYCAP ACCESSIBLE - MODIFY PAVING AND SIDEWALK AS REQUIRED).
  5. DEMO EXISTING PARAPET AND ENTRY ELEMENT. REPLACE WITH METAL STUD FRAMING, DENSGLOSS SHEATHING, 2-LAYERS TYVEK - BRONZE ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1/4" SPANDREL GLASS (BRONZE).
  6. DEMO EXISTING PARAPET AND ENTRY ELEMENT. REPLACE WITH METAL STUD FRAMING, DENSGLOSS SHEATHING, ICE AND WATER SHIELD, AND ACM (ALUMINUM COMPOSITE MATERIAL) SYSTEM.
  7. REPLACE ALL EXTERIOR WALL PACKS WITH NEW LED FULL CUTOFF FIXTURES.
  8. PRIME AND PAINT ALL DOWNSPOUTS AND SCUPPERS BRONZE TO MATCH CANOPY METAL.
  9. DEMOLISH MANSORY COLUMN WRAP AND REPLACE WITH ROUND ACM COLUMN COVER (SPLIT FOR INSTALLATION).
  10. REPLACE AUTOMATIC DOOR SYSTEM WITH BRONZE ALUMINUM AUTOMATIC DOOR SYSTEM. (ALTERNATIVE: REPAIR DOOR AND TRANSOM FRAMING AND REPLACE ALL GLASS).
  11. INSTALL FRAMING, SHEATHING, ICE AND WATER SHIELD, ACM FASCIA AND DRAINAGE FOR MEN CANOPY OVERHANGS.
  12. REPAINT ALL EXISTING DOORS, BOLLARDS, COPING, ETC.

2.25.20



EXISTING BUILDING  
± 12,000-SF

20' LANDSCAPING BUFFER

15' BUILDING SETBACK

20'

15'

HIGHWAY 51  
VARIABLE WIDTH R/W

W. JOHN STREET  
VARIABLE WIDTH R/W