

David Weekley Homes

May 10, 2019

Ms. Mary Jo Gollnitz, CZO
Senior Planner/Zoning Administrator
Planning and Development
Town of Matthews
232 Matthews Station Street
Matthews, North Carolina 28105

RE: Requested Administrative Amendment - Eden Hall

Dear Mary Jo:

We would like to take a portion of the property in Eden Hall consisting of 20 parcels that are presently designated as townhomes and designate them as single family lots. This change would reconfigure the property lines and reduce the 20 parcels to 15 parcels.

I've enclosed the following requested documents:

- Document Checklist
- Elevations of proposed single family home product (to be provided next week)
- The current recorded plat showing the location of the parcels (highlighted in yellow)
- Site plan showing single family lots

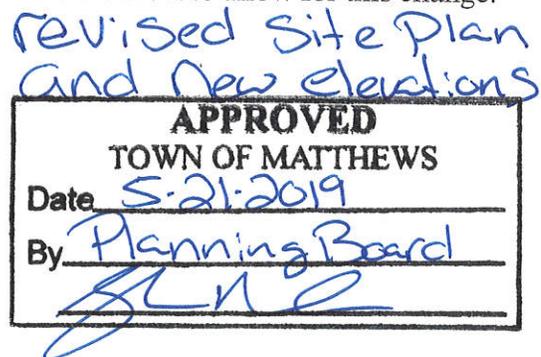
We are requesting an administrative amendment at the Town Board level to allow for this change. Thank you in advance for your consideration.

Sincerely,



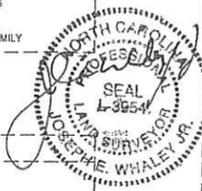
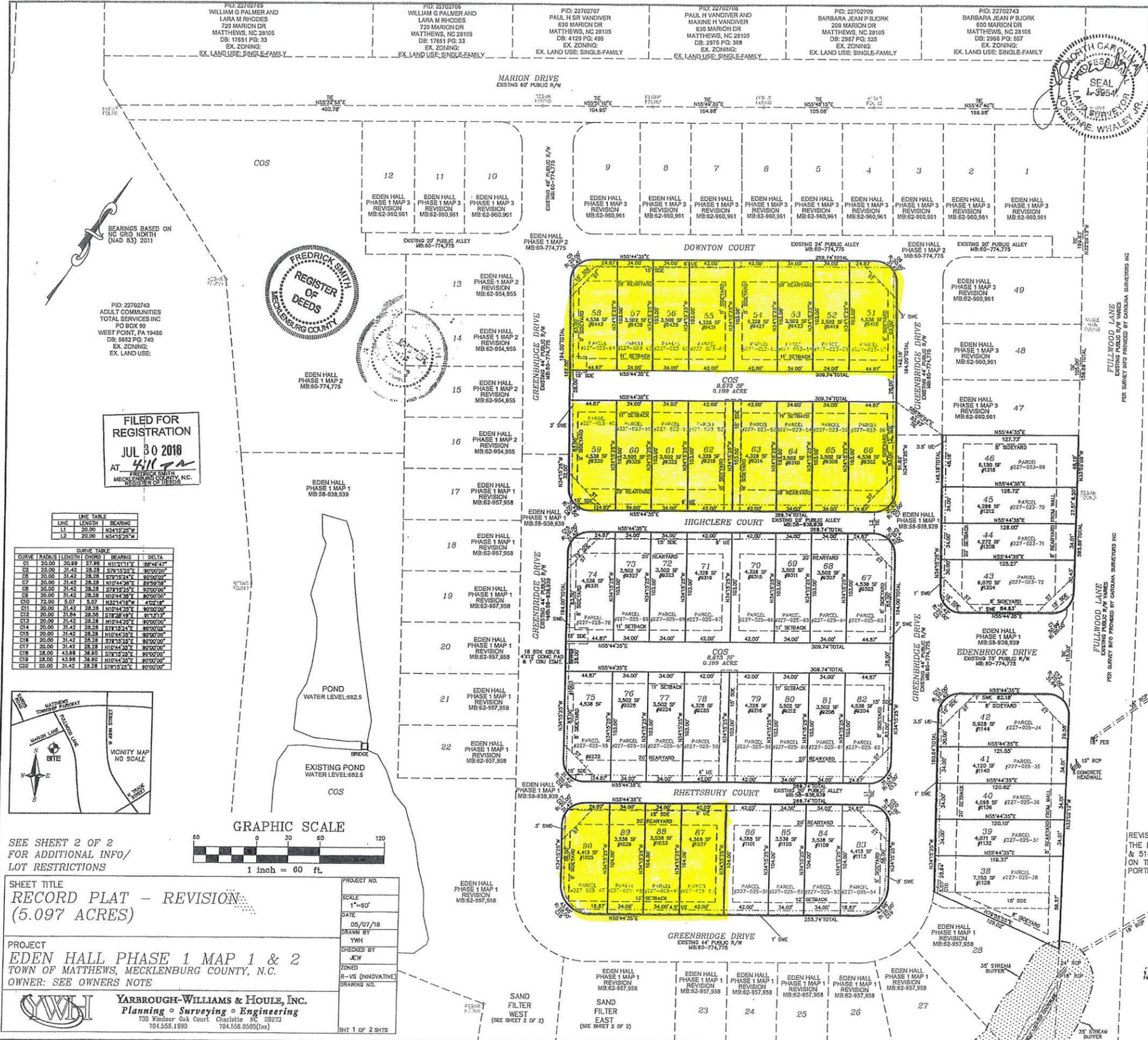
Shannon Boling
Land Acquisition Manager

Enclosures



Eden Hall

Lot #	Street #	Street	Parcel #
51	9415	Downton Court	22702957
52	9419	Downton Court	22702358
53	9423	Downton Court	22702359
54	9427	Downton Court	22702360
55	9431	Downton Court	22702361
56	9435	Downton Court	22702362
57	9439	Downton Court	22702363
58	9443	Downton Court	22702364
59	9330	Highclere Court	22702349
60	9326	Highclere Court	22702350
61	9322	Highclere Court	22702351
62	9318	Highclere Court	22702352
63	9314	Highclere Court	22702353
64	9310	Highclere Court	22702354
65	9306	Highclere Court	22702355
66	9302	Highclere Court	22702356
87	1037	Greenbridge Drive	22702550
88	1033	Greenbridge Drive	22702549
89	1029	Greenbridge Drive	22702548
90	1025	Greenbridge Drive	22702547



CERTIFICATE OF SURVEY AND ACCURACY
 THE UNDERSIGNED SURVEYOR, BEING DULY SWORN,
 DEPOSES AND SAYS THAT THE MAP OR PLAT TO WHICH THIS
 CERTIFICATE APPEARS WAS PREPARED IN ACCORDANCE WITH
 G.S. SECTION 47-30 AS AMENDED IS IN ALL RESPECTS CORRECT
 ACCORDING TO THE BEST OF HIS OR HER KNOWLEDGE AND BELIEF,
 AND WAS PREPARED FROM AN ACTUAL SURVEY MADE BY HIM OR
 HER ON THE 1 DAY OF July 2018 WITH A MAXIMUM
 LINEAR ERROR OF CLOSURE OF 1:10000, AND A MAXIMUM FIELD
 ERROR OF ANGULAR CLOSURE OF 7.5 SECONDS.

STATE OF NORTH CAROLINA, COUNTY OF MECKLENBURG
 I, MARY B. COLNITZ, REVIEW OFFICER OF
 MECKLENBURG COUNTY, CERTIFY THAT THE MAP OR PLAT TO
 WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY
 REQUIREMENTS FOR RECORDING.
Mary B. Colnitz 7/30/18
 REVIEW OFFICER DATE

THE STREETS, STORM DRAINAGE AND OTHER
 REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED
 IN AN ACCEPTABLE MANNER AND IN ACCORDANCE
 WITH TOWN SPECIFICATIONS AND STANDARDS OR A
 GUARANTEE IN AN ACCEPTABLE AMOUNT AND FORM
 HAS BEEN RECEIVED.
 7-30-2018 Tom Hodge
 DATE MECKLENBURG COUNTY LIESA

BMP MAINTENANCE CERTIFICATE.
 THE PROPERTY IN THIS SUBDIVISION PLAT CONTAINS
 WATER QUALITY FEATURES THAT MUST BE MAINTAINED
 ACCORDING TO THE OPERATIONS AND MAINTENANCE
 AGREEMENT AND PLAN RECORDED IN DEED BOOK 30518
 AND PAGES 705-717.

TOWN APPROVAL CERTIFICATE
 I HEREBY CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN FOUND
 TO COMPLY WITH THE SUBDIVISION REQUIREMENTS OF THE TOWN
 OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE AND IS APPROVED
 FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS FOR
 MECKLENBURG COUNTY. STREETS, UTILITIES, AND OTHER PUBLIC
 IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER
 AND ACCORDING TO TOWN SPECIFICATIONS AS SHOWN ON THIS PLAT,
 OR A FINANCIAL GUARANTEE HAS BEEN POSTED TO ENSURE INSTALLATION
 AND COMPLETION OF SUCH IMPROVEMENTS. THE TOWN ACCEPTS THE
 DEDICATION OF STREETS, EASEMENTS, PUBLIC PARKS, AND OPEN SPACE
 AS INDICATED, BUT THE TOWN ASSUMES NO RESPONSIBILITY TO OPEN OR
 MAINTAIN ANY STREETS, EASEMENTS, RIGHTS-OF-WAY, OR OTHER LANDS
 SHOWN FOR PUBLIC PURPOSES UNTIL IN THE OPINION OF THE BOARD OF
 COMMISSIONERS OF THE TOWN OF MATTHEWS IT IS IN THE PUBLIC INTEREST
 TO DO SO. THIS APPROVAL EXPIRES IF NOT RECORDED ON OR BEFORE
August 29, 2018 (DATE) AND MUST BE RESUBMITTED FOR APPROVAL
 BY THE TOWN.
 7/30/18 Mary B. Colnitz
 DATE PLANNING DIRECTOR BY DESIGN, TOWN OF MATTHEWS

MECKLENBURG COUNTY:
 APPROVED IN ACCORDANCE WITH THE
 ENGINEERING REQUIREMENTS OF THE
 SUBDIVISION ORDINANCE OF THE TOWN
 OF MATTHEWS, NORTH CAROLINA.
Tom Hodge 7-30-2018
 MECKLENBURG COUNTY STAFF DATE

CERTIFIED TO BE TRUE AND CORRECT COPY
 OF THE ORIGINAL MAP RECORDED IN
 BOOK 63 PAGE 449
 DATE: July 30, 2018
 FREDRICK SMITH, REGISTER OF DEEDS
 By: Ellen Mills DEPUTY

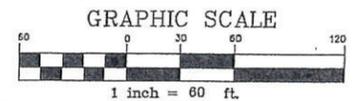
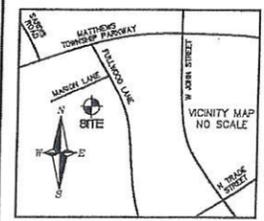
REVISION NOTE.....
 THE PURPOSE OF THIS PLAT IS TO REVISE TOWNHOME LOTS 38-46
 & 51-59 TO CHANGE IMPERVIOUS AREAS ON THESE LOT AS SHOWN
 ON THE IMPERVIOUS AREA CHART. THIS PLAT SUPERCEDES THIS
 PORTION OF ALL PREVIOUSLY RECORDED PLATS.

BEARINGS BASED ON
 NC GRID NORTH
 (NAD 83) 2011

FILED FOR
 REGISTRATION
 JUL 30 2018
 AT 411
 FREDRICK SMITH
 MECKLENBURG COUNTY, N.C.
 REGISTER OF DEEDS

LINE	LENGTH	BEARING
L1	20.00	N54°12'25"W
L2	20.00	N54°12'25"W

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	20.00	30.59	27.96	N11°21'11"E	88°48'47"
C2	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C3	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C4	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C5	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C6	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C7	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C8	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C9	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C10	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C11	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C12	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C13	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C14	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C15	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C16	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C17	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C18	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C19	20.00	31.42	28.28	S78°12'24"E	90°00'00"
C20	20.00	31.42	28.28	S78°12'24"E	90°00'00"



SEE SHEET 2 OF 2
 FOR ADDITIONAL INFO/
 LOT RESTRICTIONS

SHEET TITLE
RECORD PLAT - REVISION
 (5.097 ACRES)

PROJECT
EDEN HALL PHASE 1 MAP 1 & 2
 TOWN OF MATTHEWS, MECKLENBURG COUNTY, N.C.
 OWNER: SEE OWNERS NOTE



PROJECT NO.	
SCALE	1"=60'
DATE	05/07/18
DRAWN BY	YWH
CHECKED BY	JEW
ZONED	R-VS (INNOVATIVE)
DRAWING NO.	

SHT 1 OF 2 SHTS

rcvd 5.10.19

CERTIFICATE OF SURVEY AND ACCURACY THE UNDERSIGNED SURVEYOR, BEING DULY SWORN, DEPOSES AND SAYS THAT THE PLAT UPON WHICH THIS CERTIFICATE APPEARS WAS PREPARED IN ACCORDANCE WITH G.S. SECTION 47-30 AS AMENDED IS IN ALL RESPECTS CORRECT ACCORDING TO THE BEST OF HIS OR HER KNOWLEDGE AND BELIEF, AND WAS PREPARED FROM AN ACTUAL SURVEY MADE BY HIM OR HER ON THE 14 DAY OF May WITH A MAXIMUM LINEAR ERROR OF CLOSURE OF 1:10000, AND A MAXIMUM FIELD ERROR OF ANGULAR CLOSURE OF 7.5 SECONDS.



STATE OF NORTH CAROLINA, COUNTY OF MECKLENBURG I, Mary Jo Gollwitz, REVIEW OFFICER OF MECKLENBURG COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING. DATE: 7/30/18

CERTIFICATE OF OWNERSHIP AND DEDICATION I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 7/30/18 OWNER: Deborah J. Bungarner LOT 38 DEBORAH J. BUNGARNER DEED: 31903-876

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 5-27-18 OWNER: Eartheleene Eadie LOT 41 EARTHELEENE EADIE DEED: 31925-118

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 5-27-18 OWNER: Rashad A. Tanner & Hope D. Tanner LOT 43 RASHAD A. TANNER & HOPE D. TANNER DEED: 32251-97

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 7-11-18 OWNER: Michael C. Fowler LOT 45 MICHAEL C. FOWLER DEED: 32546-914

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

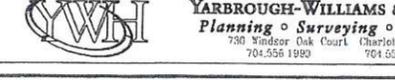
DATE: 6/26/18 OWNER: Irving J. Antweiler & Linda S. Antweiler LOT 46 IRVING J. ANTWEILER & LINDA S. ANTWEILER DEED: 32455-004

REVISION NOTE: THE PURPOSE OF THIS PLAT IS TO REVISE TOWNHOME LOTS 38-46 & 51-90 TO CHANGE IMPERVIOUS AREAS ON THESE LOTS AS SHOWN ON THE IMPERVIOUS AREA CHART. THIS PLAT SUPERCEDES THIS PORTION OF ALL PREVIOUSLY RECORDED PLATS.

SEE SHEET 2 OF 2 FOR LOT INFO/ RESTRICTIONS

SHEET TITLE: RECORD PLAT - REVISION (5.097 ACRES)

PROJECT: EDEN HALL PHASE 1 MAP 1 & 2 TOWN OF MATTHEWS, MECKLENBURG COUNTY, N.C. OWNER: SEE OWNERS NOTE



I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 5-16-18 OWNER: Debra J. Marris & Thelma J. Marris LOT 40 DEBRA J. MARRIS & THELMA J. MARRIS DEED: 32581-809

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 7/30/18 OWNER: Richard S. Neely & Ellen M. Neely LOT 80 RICHARD S. NEELY & ELLEN M. NEELY DEED: 32179-18

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

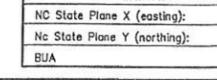
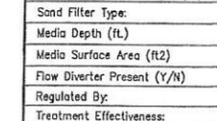
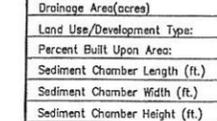
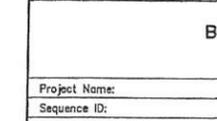
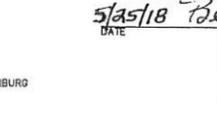
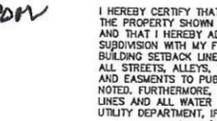
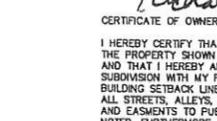
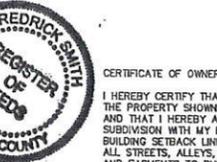
DATE: 7-10-18 OWNER: Thomas W. Burke & Gail H. Burke LOT 79 THOMAS W. BURKE & GAIL H. BURKE DEED: 32354-359

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 7-11-18 OWNER: William L. Jackson & Jill W. Jackson LOT 70 WILLIAM L. JACKSON & JILL W. JACKSON DEED: 32193-555

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 7/19/18 OWNER: Richard E. Parris & Betty H. Parris LOT 96 RICHARD E. PARRIS & BETTY H. PARRIS DEED: 32455-748



MECKLENBURG COUNTY: APPROVED IN ACCORDANCE WITH THE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE OF THE TOWN OF MATTHEWS, NORTH CAROLINA. DATE: 7-30-2018 Tom Hodge MECKLENBURG COUNTY STAFF

CERTIFIED TO BE TRUE AND CORRECT COPY OF THE ORIGINAL MAP RECORDED IN BOOK: Eden 38 2018 PAGE: 6 DATE: 7/30/18 FREDRICK SMITH/REGISTER OF DEEDS DEPUTY: Ella Mills

CERTIFICATE OF OWNERSHIP AND DEDICATION I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 5/28/2018 OWNER: George H. Miles & Ann S. Miles LOT 81 GEORGE H. MILES & ANN S. MILES DEED: 32541-397

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 7/10/18 OWNER: Richard S. Neely & Ellen M. Neely LOT 80 RICHARD S. NEELY & ELLEN M. NEELY DEED: 32179-18

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 7-10-18 OWNER: Thomas W. Burke & Gail H. Burke LOT 79 THOMAS W. BURKE & GAIL H. BURKE DEED: 32354-359

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 5/25/18 OWNER: Beth Anderson LOT 67 BETH ANDERSON DEED: 32529-461

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL SEWER LINES AND ALL WATER LINES TO THE CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT, IF APPLICABLE.

DATE: 5/29-18 OWNER: Lisa Lynn Starnes LOT 68 LISA LYNN STARNES DEED: 32675-399

TOWN APPROVAL CERTIFICATE I HEREBY CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REQUIREMENTS OF THE TOWN OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE AND IS APPROVED FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS FOR MECKLENBURG COUNTY. STREETS, UTILITIES, AND OTHER PUBLIC IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO TOWN SPECIFICATIONS AS SHOWN ON THIS PLAT, OR A FINANCIAL GUARANTEE HAS BEEN POSTED TO ENSURE INSTALLATION AND COMPLETION OF SUCH IMPROVEMENTS. THE TOWN ACCEPTS THE DEDICATION OF STREETS, EASEMENTS, PUBLIC PARKS, AND OPEN SPACE AS INDICATED, BUT THE TOWN ASSUMES NO RESPONSIBILITY TO OPEN OR MAINTAIN ANY STREETS, EASEMENTS, RIGHTS-OF-WAY, OR OTHER LANDS SHOWN FOR PUBLIC PURPOSES UNTIL IN THE OPINION OF THE BOARD OF COMMISSIONERS OF THE TOWN OF MATTHEWS IT IS IN THE PUBLIC INTEREST TO DO SO. SAID APPROVAL EXPIRES IF NOT RECORDED ON OR BEFORE August 28 2018 (DATE) AND MUST BE RESUBMITTED FOR APPROVAL BY THE TOWN. DATE: 7/30/18 PLANNING DIRECTOR: Mary Jo Gollwitz DESIGNEE: TOWN OF MATTHEWS

PREVIOUSLY RECORDED 90 LOT LAYOUT PREVIOUSLY RECORDED IMPERVIOUS AREA 2800 PER LOT X 90 LOTS = 252,000 SF IMPERVIOUS TOTAL

NEW 80 LOT LAYOUT 3086 PER TOWNHOME LOT X 48 LOTS (38-41,43-46,51-90) = 148,128 SF IMPERVIOUS 3,432 FOR TOWNHOME LOT 42 = 3,432 SF IMPERVIOUS TOTAL 3240 PER SINGLE FAMILY LOT X 31 LOTS (1-28,47,48,49) = 100,440 SF IMPERVIOUS TOTAL 252,000 SF IMPERVIOUS TOTAL = 0 NET CHANGE IN TOTAL IMPERVIOUS AREA

PHASE 1 IMPERVIOUS AREA LOT SUMMARY table with columns: LOT #, PREVIOUS IMPERVIOUS (SF), NEW IMPERVIOUS (SF), LOTS DRAINING TO SAND FILTER EAST OR WEST. Rows 38-90.

* NOTE THAT THE ALLOWABLE IMPERVIOUS IS THE ALLOWABLE IMPERVIOUS AT THE TIME OF THE IMPERVIOUS AS-BUILT SURVEY.

- LEGEND: AC - ACRE, CMP - CORRUGATED METAL PIPE, CMU - CHARLOTTE-MECKLENBURG UTILITIES, DB - DEED BOOK, E - EXISTING CONCRETE MONUMENT, FFC - FLOOD PROTECTION ELEVATION, MB - MAP BOOK, PP - POWER POLE, RCP - REINFORCED CONCRETE PIPE, R/W - RIGHT-OF-WAY, SAN. SEW. R/W - SANITARY SEWER RIGHT-OF-WAY, SDE - STORM DRAINAGE EASEMENT, SF - SQUARE FEET, ST - 35'X35' SIGHT TRIANGLE EASEMENT, SWE - SIDEWALK EASEMENT, UE - UTILITY EASEMENT, W&H - YARBROUGH-WILLIAMS AND HOULE, W - WETLANDS BUFFER, B - 8% TREE CANOPY RETENTION TREE SAVE, P - 30' POND BUFFER

- PROJECT INFORMATION: ZONING: R-VS (INNOVATIVE), RESIDENTIAL INNOVATIVE, VARIED STYLE DISTRICT, PROPOSED USE - RESIDENTIAL (TOWNHOMES), PROPOSED NUMBER OF LOTS - 80 TOTAL, PROPOSED SMALLEST LOT - 3,502 SF (0.060 ACRE), PROPOSED DENSITY - 5.59 DUA, SUPPLEMENTAL REGULATIONS: MINIMUM LOT AREA - 3,000 SF/DU, MINIMUM LOT WIDTH - 30 FEET/DU, MINIMUM SETBACK: - FRONT LOADED - 20 FEET, - REAR LOADED - 11 FEET, MINIMUM SIDEYARD - 0 FEET AND 8 FEET, MINIMUM REARYARD: - FRONT LOADED - 4, 8 OR 20 FEET, - REAR LOADED - 20 FEET, MINIMUM UNOBSTRUCTED OPEN SPACE PROPOSED - 149,761 SF ±21.37%, MAXIMUM HEIGHT - 35 FEET, MINIMUM BUILDING SEPARATION - 16 FEET

- PARKING REQUIREMENTS: RESIDENCES REQUIRED - 180 SPACES, SIDEWALKS - 2 SPACES PER UNIT PROVIDED - 226 SPACES, TREE CANOPY CALCULATIONS: TOTAL LAND DISTURBANCE AREA - 700,880 SF, PONDS - 28,439 SF, NET LAND DISTURBANCE AREA - 672,441 SF, TREE CANOPY REQUIRED - 52,995 SF (8.00%), TREE CANOPY PROVIDED - 68,811 SF (10.23%)

- REQUIRED CONNECTIVITY INDEX - 0.85, LINKS PROVIDED - 19, NODES PROVIDED - 8, PROPOSED CONNECTIVITY INDEX - 1.875, REQUIRED PCO UNDISTURBED OPEN SPACE - 70,132 SF, PROPOSED PCO UNDISTURBED OPEN SPACE - 70,924 SF

- BMP MAINTENANCE CERTIFICATE: THE PROPERTY IN THIS SUBDIVISION PLAT CONTAINS WATER QUALITY FEATURES THAT MUST BE MAINTAINED ACCORDING TO THE OPERATIONS AND MAINTENANCE AGREEMENT AND PLAN RECORDED IN DEED BOOK 30518 AND PAGES 708-717.

- BUA DENSITY CALCULATION: TOTAL SITE AREA (EXCLUDING EX. R/W) - 701,316 SF (16.10 AC), SITE BUA: SIDEWALKS - 28,190 SF, ROADS - 83,845 SF, 90 LOTS (ASSUME 2,800 SF/LOT) - 252,000 (INCLUDING BUILDINGS, DRIVEWAYS, PATIOS, WALKS/STAIRS), % BUA = 7.01 AC / (16.10-0.24) AC = 52.7%, REQUIRED PCO UNDISTURBED OPEN SPACE - 0.10*(701,316 SF) = 70,132 SF, PROVIDED PCO UNDISTURBED OPEN SPACE - 74,401 SF = 1.70 AC.

- PARCEL ID'S #227-023-(49-64), 227-025-(47-70), 227-025-(34-38) 227-023-(69-72).

- NOTES: MAINTENANCE OF ALL SDE'S AS SHOWN ON PLAT IS THE RESPONSIBILITY OF THE PROPERTY OWNER OR ASSIGNS. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED. THIS PROPERTY CONTAINS WATER QUALITY FEATURES THAT MUST BE MAINTAINED ACCORDING TO THE OPERATIONS AND MAINTENANCE AGREEMENT AND PLAN RECORDED IN DEED BOOK 30518 AND PAGE 708. THE SUBDIVIDED PROPERTY IS CONSIDERED A LARGER COMMON PLAN OF DEVELOPMENT AND THEREFORE WILL BE SUBJECT TO THE APPLICABLE PORTIONS OF THE TOWN OF MATTHEWS POST-CONSTRUCTION STORM WATER ORDINANCE DURING DEVELOPMENT AND REDEVELOPMENT (INCLUDING EXPANSION). THE PURPOSE OF THE BMP IS TO TREAT/REDUCE THE POLLUTANTS FROM STORM WATER RUNOFF IN ORDER TO MINIMIZE NEGATIVE EFFECTS TO DOWNSTREAM RECEIVING WATERS. THE REMOVAL OF PLANTS OR DISTURBANCE OF THE BMP STRUCTURE OR OTHERWISE AFFECTING THE OVERALL FUNCTIONALITY OF THE BMP FOR REASONS OTHER THAN MAINTENANCE IS STRICTLY PROHIBITED. THE EASEMENT AROUND THE BMP IS TO ALLOW STORM WATER CONVEYANCE AND SYSTEM MAINTENANCE. ANY BUILDINGS AND/OR OBSTRUCTIONS WHICH IMPEDE STORM WATER FLOW OR MAINTENANCE ARE PROHIBITED.

- THIS PROPERTY IS SUBJECT TO ALL OTHER RIGHTS-OF-WAY AND EASEMENTS OF RECORD NOT OBSERVED AT TIME OF SURVEY WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH. AREAS WERE CALCULATED BY DMD METHOD. IRON PINS ON ALL CORNERS UNLESS OTHERWISE NOTED.

- THE PURPOSE OF THIS PLAT IS TO REVISE TOWNHOME LOTS 38-46 & 51-90 TO CHANGE IMPERVIOUS AREAS ON THESE LOTS AS SHOWN ON THE IMPERVIOUS AREA CHART. THIS PLAT SUPERCEDES THIS PORTION OF ALL PREVIOUSLY RECORDED PLATS.

- NO ON-SITE DEMOLITION OR STUMP BURIAL WILL BE ALLOWED. ALL MATERIAL WILL BE DISPOSED OF IN AN APPROVED OFF-SITE LANDFILL. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN STORM DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.

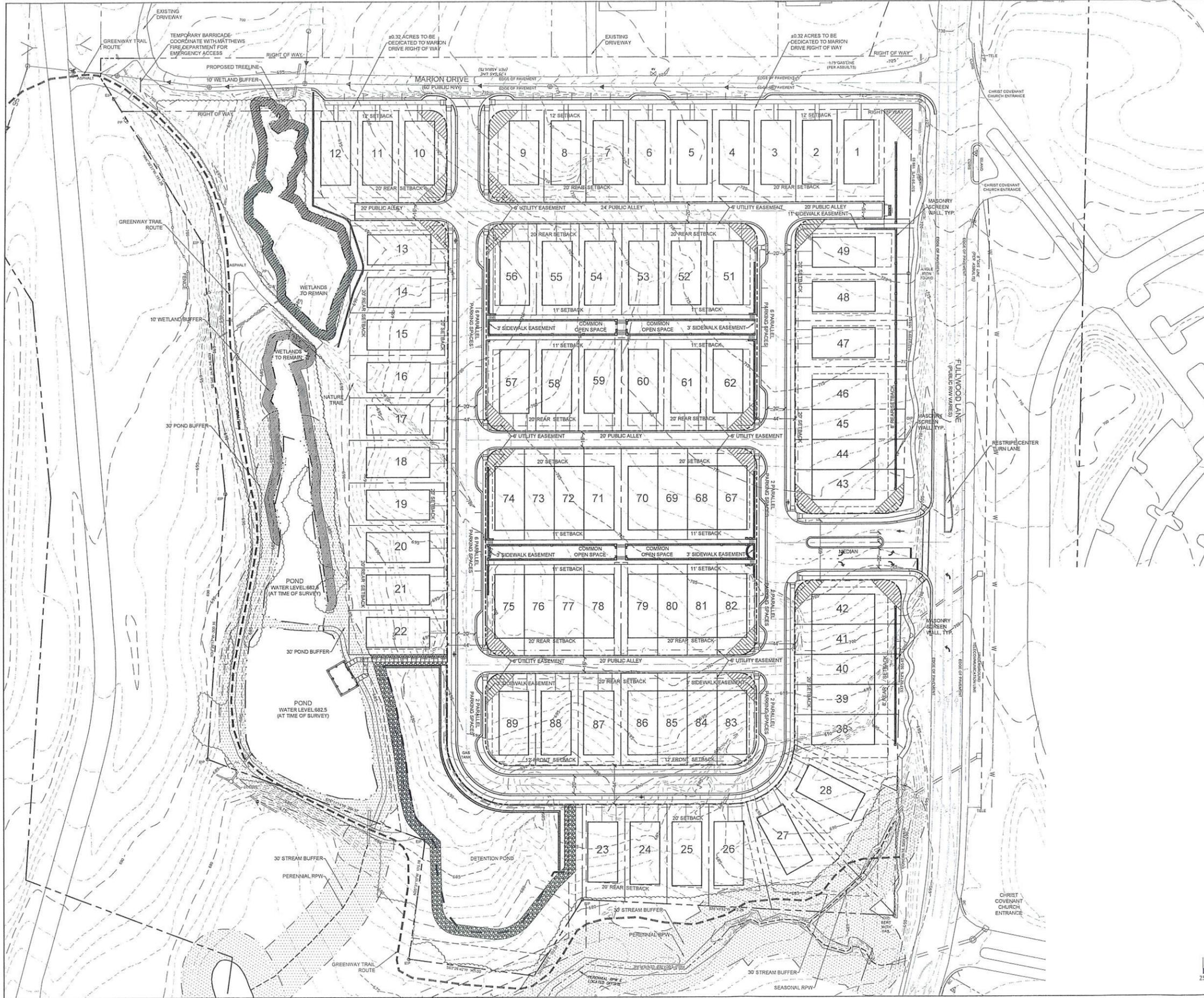
- THE DEVELOPER SHALL MAINTAIN THE STREAMBED OF EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER AND JUNK. THE CONSTRUCTION OF BUILDINGS OR STRUCTURES BELOW THE ELEVATION OF THE BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY SECTION 155.702(D) OF THE TOWN OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE.

- EACH LOT SHALL HAVE ONE TREE PLANTED IN THE FRONT SETBACK TO MEET THE TOWN OF MATTHEWS SUBDIVISION ORDINANCE. THE TOWN OF MATTHEWS HAS A COMPLETE LIST OF TREES TO CHOOSE FROM. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. A 35'-35" CLEAR STORY SHALL BE SUSTAINED WITHIN ALL SIGHT TRIANGLES TO PROVIDE A CLEAR VIEW AT INTERSECTIONS.

- DIRECT VEHICULAR ACCESS TO FULLWID LANE FROM LOTS 1, 47 THROUGH 50 IS PROHIBITED. THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP (FIRM) NO. 3710458000A, WITH A DTAE OF IDENTIFICATION OF 3/2/2009.

BMP Inset Table Sand Filter EAST table with columns: Project Name, Sequence ID, Drainage Area (acres), Land Use/Development Type, Percent Built Upon Area, Sediment Chamber Length (ft.), Sediment Chamber Width (ft.), Sediment Chamber Height (ft.), Sand Filter Type, Media Depth (ft.), Media Surface Area (ft2), Flow Diverter Present (Y/N), Regulated By, Treatment Effectiveness, NC State Plane X (easting), NC State Plane Y (northing), BUA.

BMP Inset Table Sand Filter WEST table with columns: Project Name, Sequence ID, Drainage Area (acres), Land Use/Development Type, Percent Built Upon Area, Sediment Chamber Length (ft.), Sediment Chamber Width (ft.), Sediment Chamber Height (ft.), Sand Filter Type, Media Depth (ft.), Media Surface Area (ft2), Flow Diverter Present (Y/N), Regulated By, Treatment Effectiveness, NC State Plane X (easting), NC State Plane Y (northing), BUA.



DEVELOPMENT SUMMARY

DEVELOPER: DAVID WEEKLEY HOMES
 11430 NORTH COMMUNITY HOUSE RD, SUITE 275
 CHARLOTTE, NC 28277
 CONTACT: SHANNON BOLING
 (704) 972-4205
 sboling@DWHOMES.com

EXISTING PARCEL SIZE: 16.41 ACRES (COMBINED)
 10.32 ACRES TO BE DEDICATED TO MARION DRIVE RIGHT OF WAY
 16.09 ACRES

PROPOSED PARCEL SIZE: 16.41 ACRES (COMBINED)
 10.32 ACRES TO BE DEDICATED TO MARION DRIVE RIGHT OF WAY
 16.09 ACRES

JURISDICTION: MATTHEWS

EXISTING ZONING: R-VS (INNOVATIVE)
 RESIDENTIAL INNOVATIVE
 VARIED STYLE DISTRICT

PROPOSED USE: SINGLE-FAMILY HOMES AND USES PERMITTED BY RIGHT AND UNDER PRESCRIBED CONDITIONS TOGETHER WITH ACCESSORY USES AS ALLOWED IN THE R-VS INNOVATIVE ZONING DISTRICT PER SECTION 155.503.1 OF THE ORDINANCE AS MORE SPECIFICALLY DESCRIBED BELOW IN SECTION 2.

NUMBER OF LOTS PROPOSED: 75
SMALLEST PROPOSED LOT: 3,502 SF (0.08 ACRES)
PROPOSED DENSITY: 4.66 DUA

SUPPLEMENTAL REGULATIONS:

SINGLE-FAMILY DETACHED:
 -MINIMUM LOT AREA: 4,500 SF/DU
 -MINIMUM LOT WIDTH: 40 FEET/DU
 -MINIMUM SETBACK: 20 FEET*
 -MINIMUM SIDE YARD: 8, 6 FEET
 -MINIMUM REAR YARD: 20 FEET
 -MAXIMUM HEIGHT: 35 FEET
 -MINIMUM BUILDING SEPARATION: 14 FEET

SINGLE-FAMILY ATTACHED:
 -MINIMUM LOT AREA: 3,000 SF/DU
 -MINIMUM LOT WIDTH: 30 FEET/DU
 -FRONT-LOADED: 20 FEET
 -REAR-LOADED: 11 FEET
 -MINIMUM SIDE YARD: 6 FEET AND 8 FEET FOR END UNIT OPEN SIDE

MINIMUM REAR YARD:
 -FRONT-LOADED: 4, 8, OR 20 FEET
 -REAR-LOADED: 20 FEET
 -MINIMUM UNOBSTRUCTED OPEN SPACE (% OF LOT): 20%
 -UNOBSTRUCTED OPEN SPACE PROPOSED: 149,761 SF ±21.37%
 -MAXIMUM HEIGHT: 35 FEET
 -MINIMUM BUILDING SEPARATION: 16 FEET

*MINIMUM FRONT SETBACK FOR HOMES FRONTING ONTO MARION DRIVE AND FRONTING ONTO INTERNAL STREET SHALL BE REDUCED TO 12 FEET

PARKING REQUIREMENTS:

RESIDENCES REQUIRED: 180 SPACES
DWELLINGS PROVIDED: 2 SPACES PER UNIT
PROVIDED: 226 SPACES

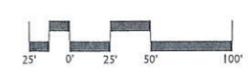
TREE CANOPY CALCULATIONS:
 -TOTAL LAND DISTURBANCE AREA: 700,880 SF
 -PONDS: 28,439 SF
 -NET LAND DISTURBANCE AREA: 672,441 SF
 -TREE CANOPY REQUIRED: 52,995 SF (8.00%)
 -TREE CANOPY PROVIDED: 68,811 SF (10.23%)

REQUIRED CONNECTIVITY INDEX: 0.85
LINKS PROVIDED: 15
NODES PROVIDED: 8
PROPOSED CONNECTIVITY INDEX: 1.875

REQUIRED PCO UNDISTURBED OPEN SPACE: 70,132 SF
PROPOSED PCO UNDISTURBED OPEN SPACE: 70,924 SF

NOTES:

- ALL UNITS LOCATED ALONG MARION DRIVE TO BE ALLEY LOADED.
- DRIVEWAYS MUST BE A MINIMUM OF 20 FEET IN LENGTH BEHIND THE PUBLIC SIDEWALK.



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 NC Eng. Firm License: C-048



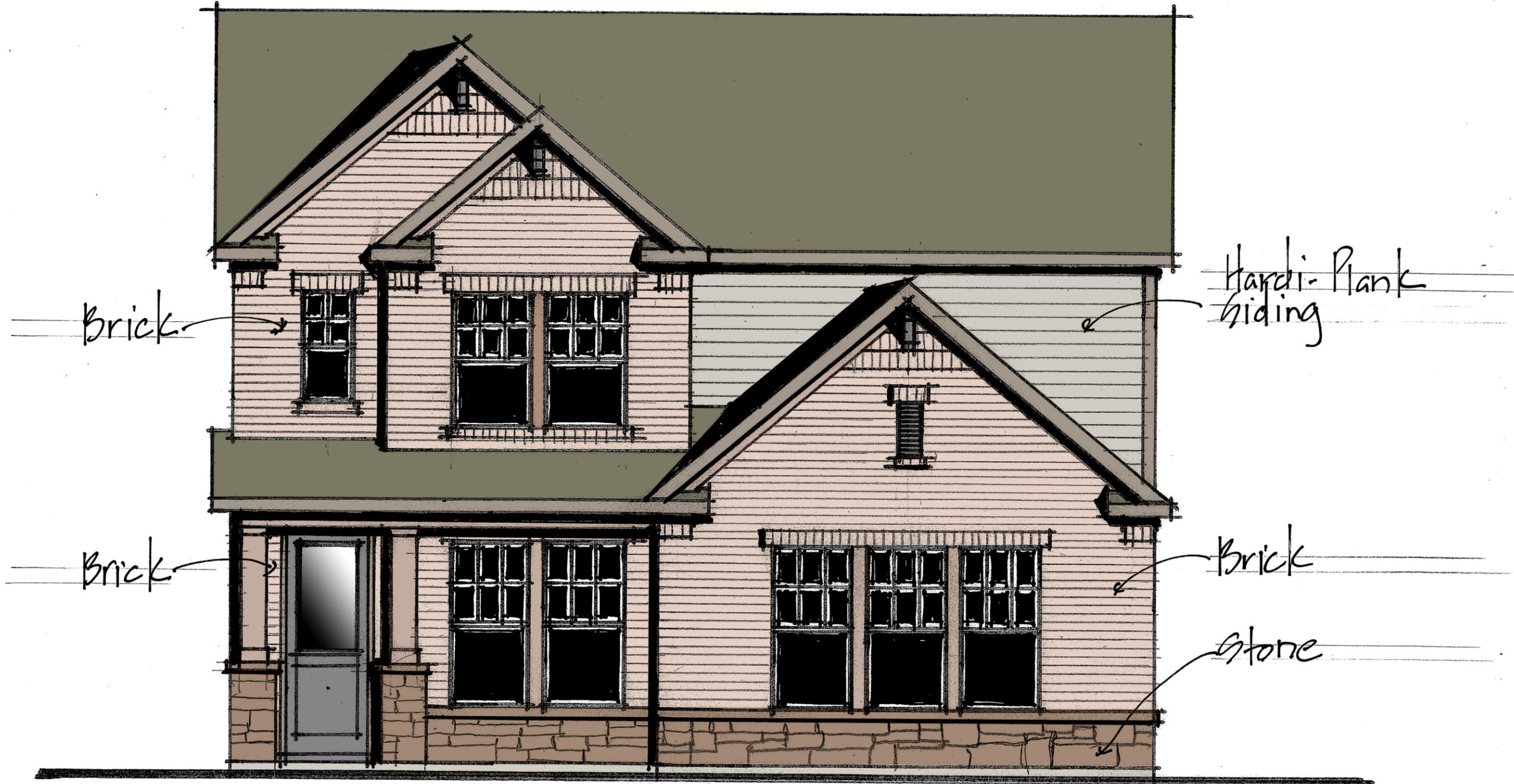
DAVID WEEKLEY HOMES AT EDEN HALL
SINGLE-FAMILY TOWNHOME DEVELOPMENT
 DAVID WEEKLEY HOMES
 SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION
 SUBJECT TO FINAL DESIGN CHANGES

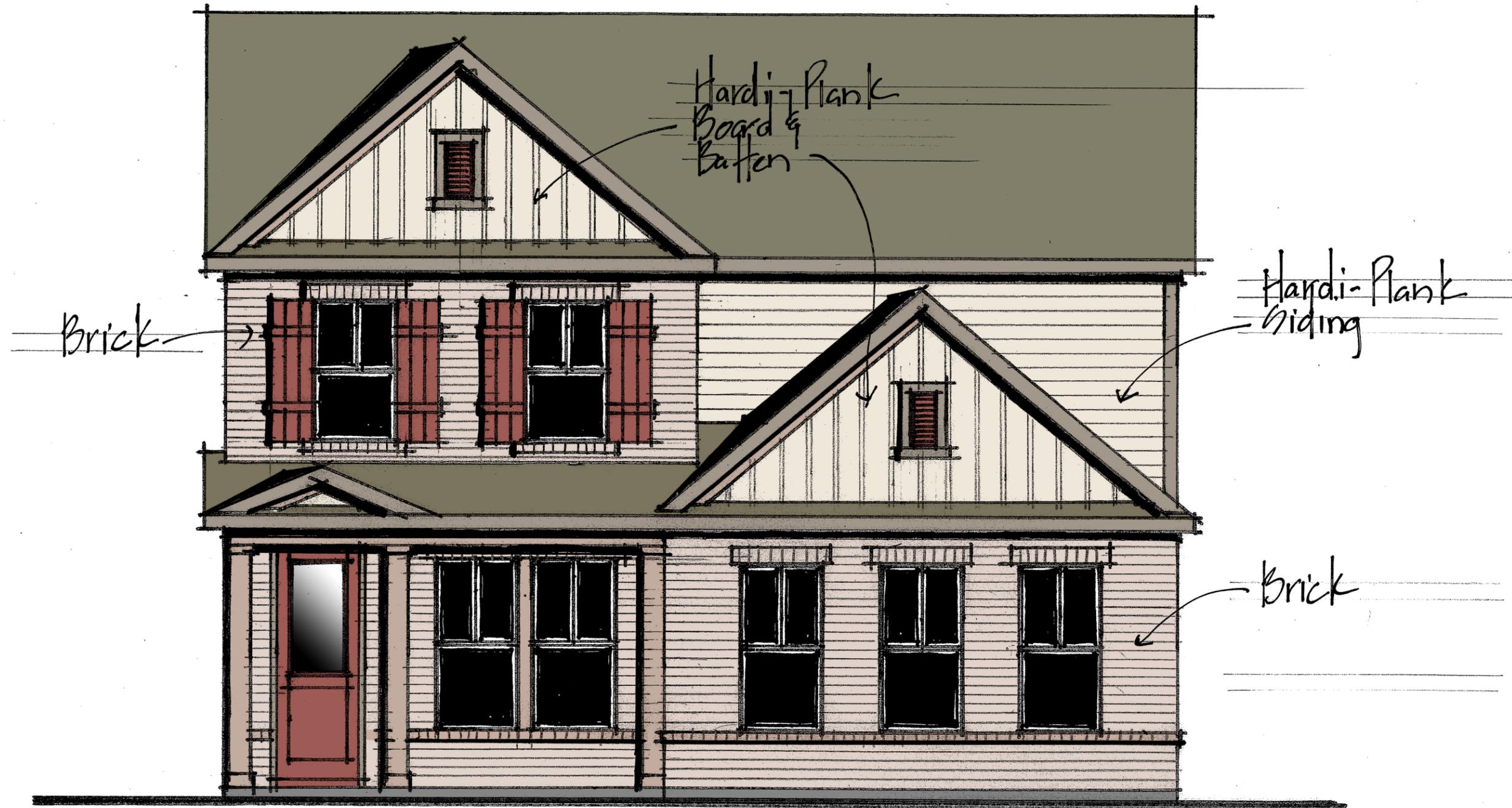
DATE: DECEMBER 22, 2017
 DESIGNED BY: MEK
 CHECKED BY: MAM
 O.C. BY: MAM
 SCALE: 1"=50'
 PROJECT #: 1017364
 SHEET #:
RZ-4.0



1020 "A" Eden Hall St
5/7/19 C. Nicolosi



Boyle "B" Eden Hall st
5/9/19 C. Nicolosi



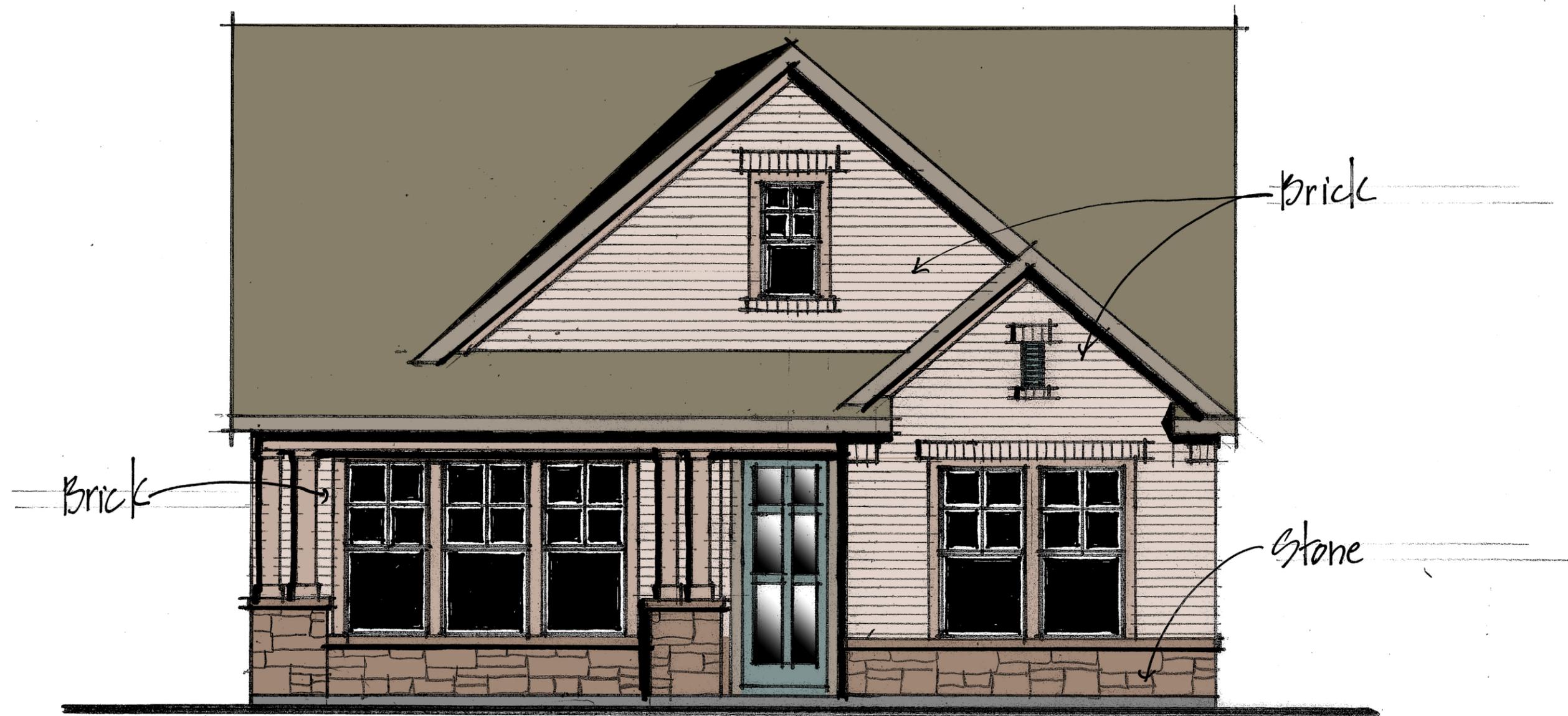
Hardi-Plank
Board &
Batten

Brick

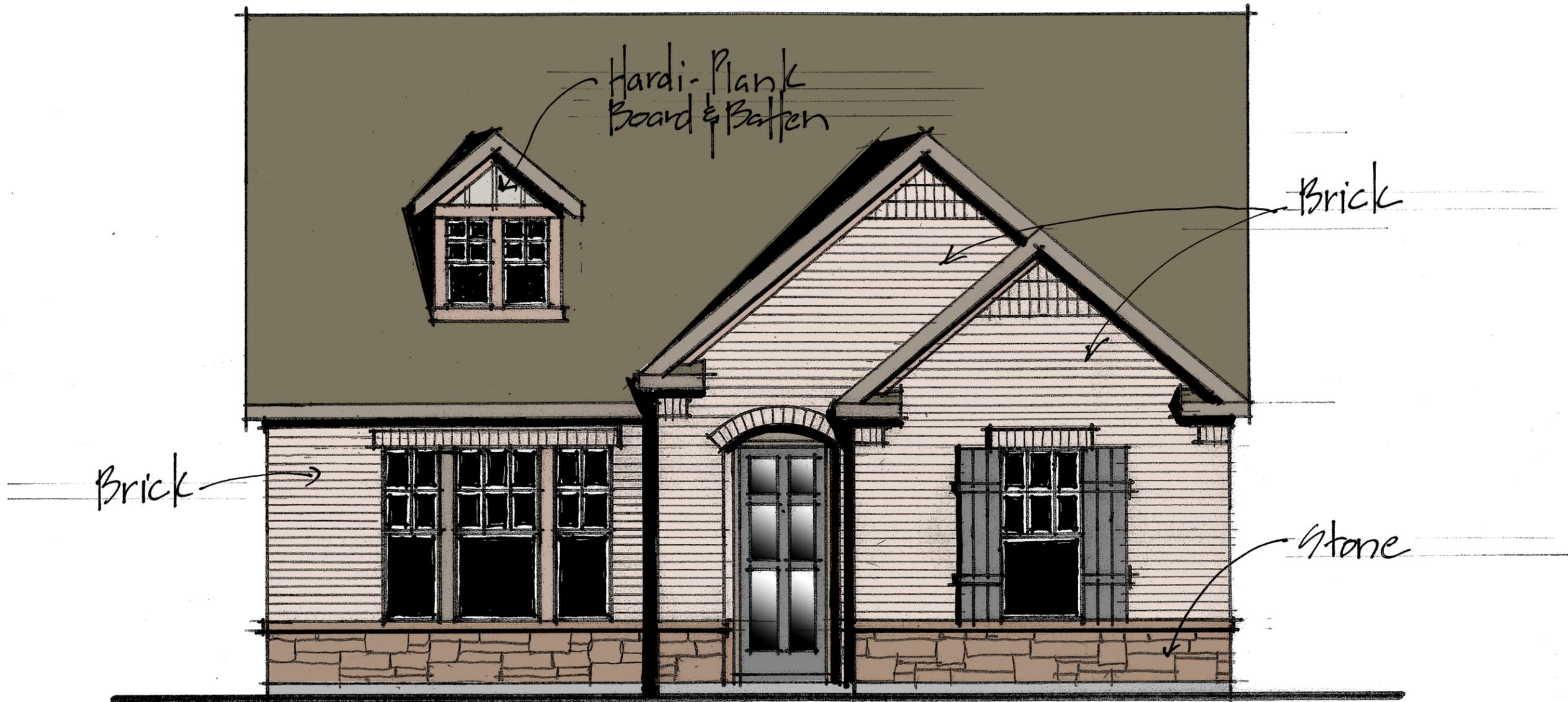
Hardi-Plank
Siding

Brick

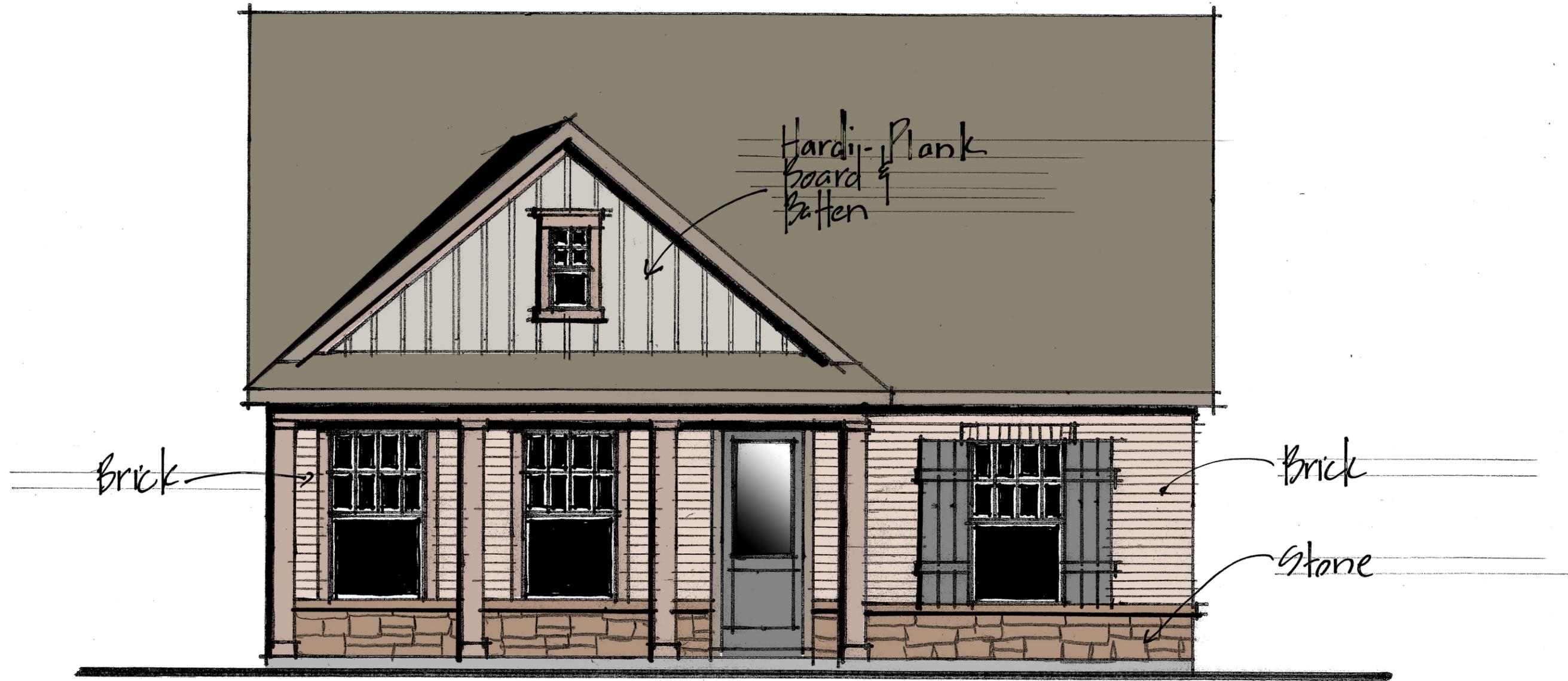
Boyz "A" Eden Hall "A"
5/9/19 C. Nicolosi



Boylston St. Eden Hall St.
5/6/19 C. Nicolosi



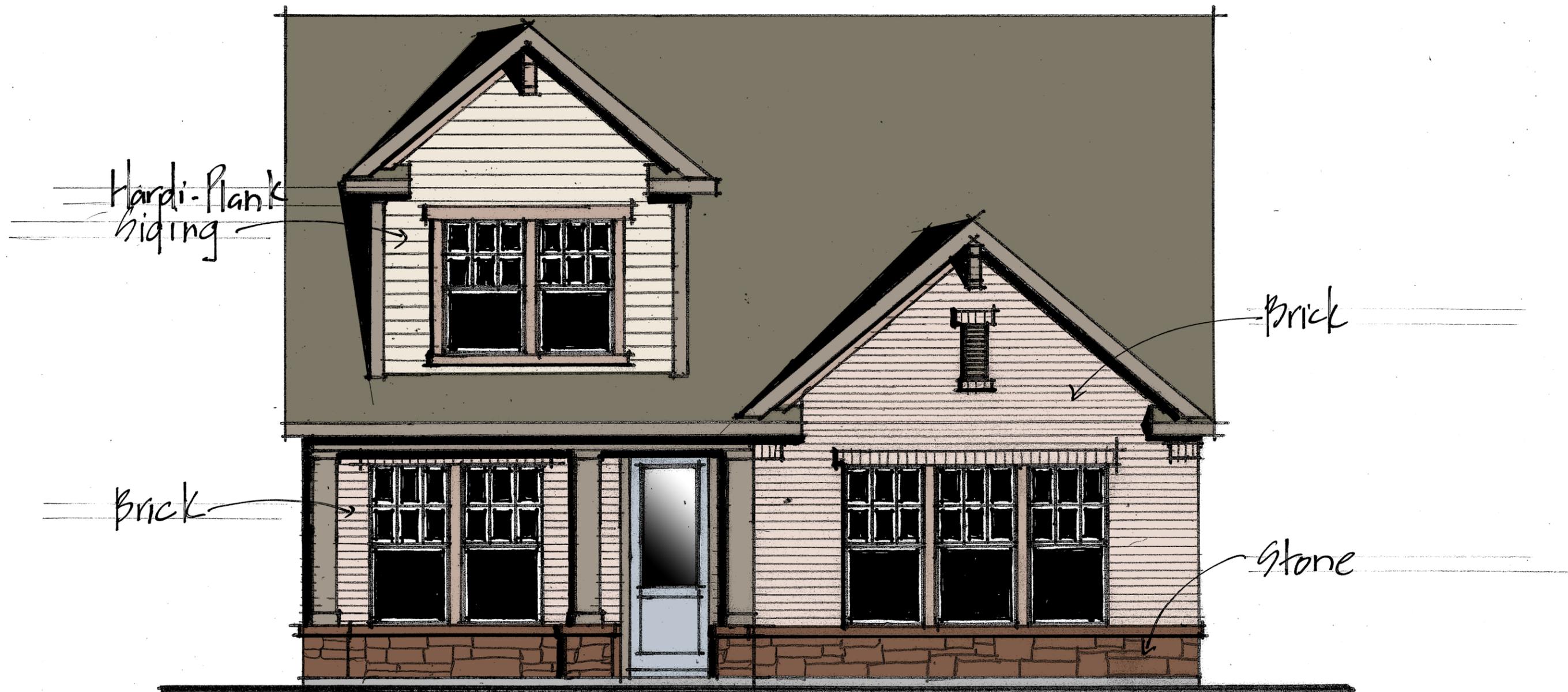
509 "A" Eden Hall St
5/8/19 C. Nicolosi



3090 "B" Eden Hall St
5/7/19 C. Nicolosi



3090 "A" Eden Hall 3A'
5/8/19 C. Nicolosi



1028 "B" Eden Hall St
5/7/19 C. Nicolosi



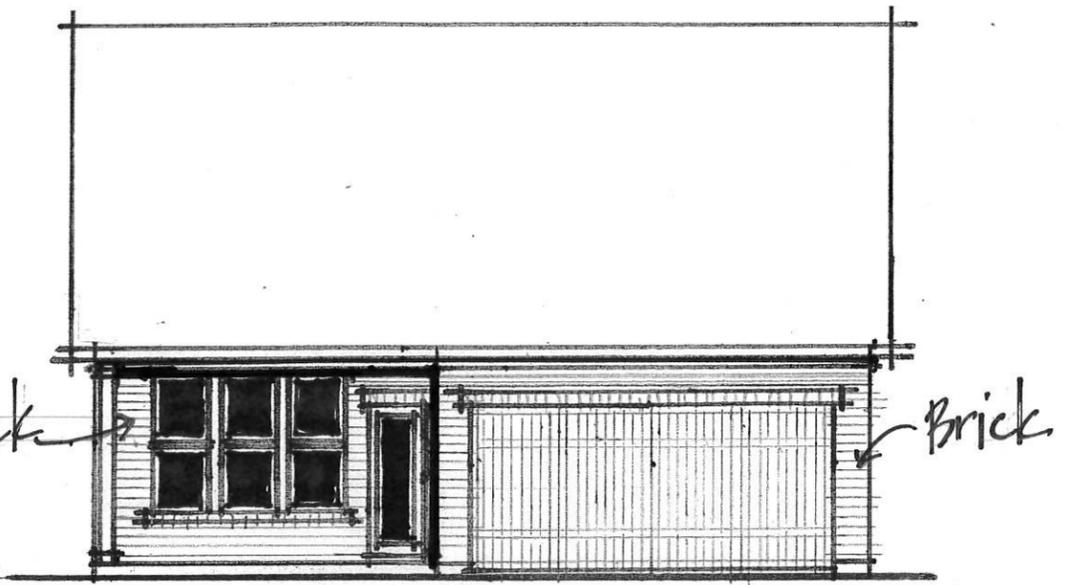
3090th Ath Eden Hall 3Ath
5/8/19 C. Nicolosi



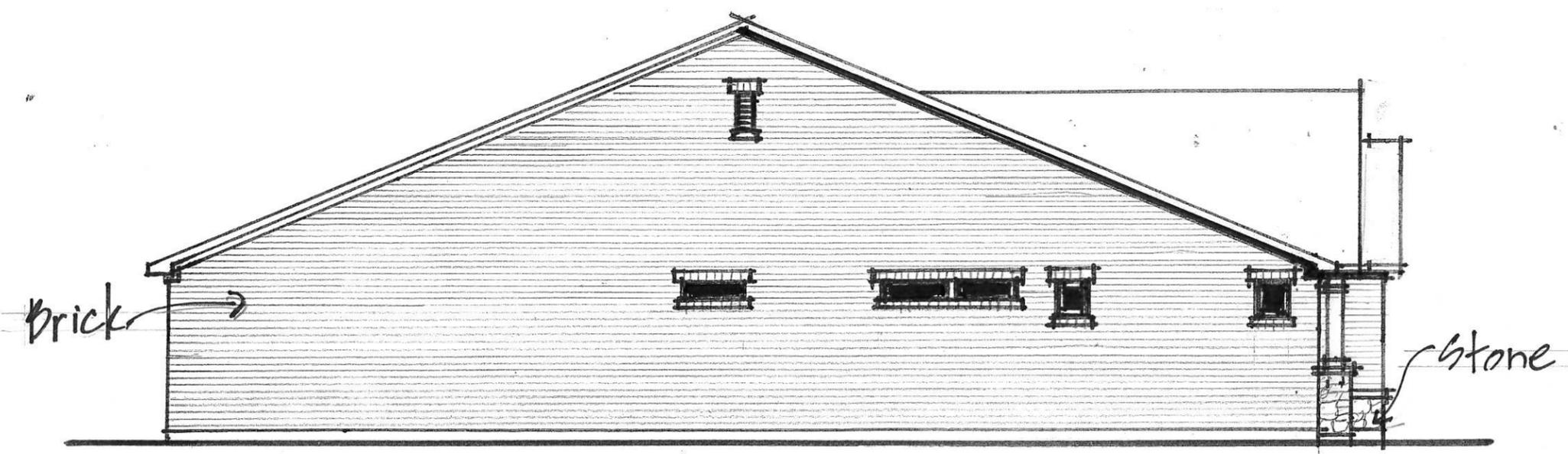
13090th Eden Hall 3A
5/7/19 C. Nicolosi



Boggo Right side Elevation



Boggo "R" Rear Elevation



Boggo Left side Elevation



1026 "A" Eden Hall Rd
5/7/19 C. Nicolosi

Hardi-Plank
Siding

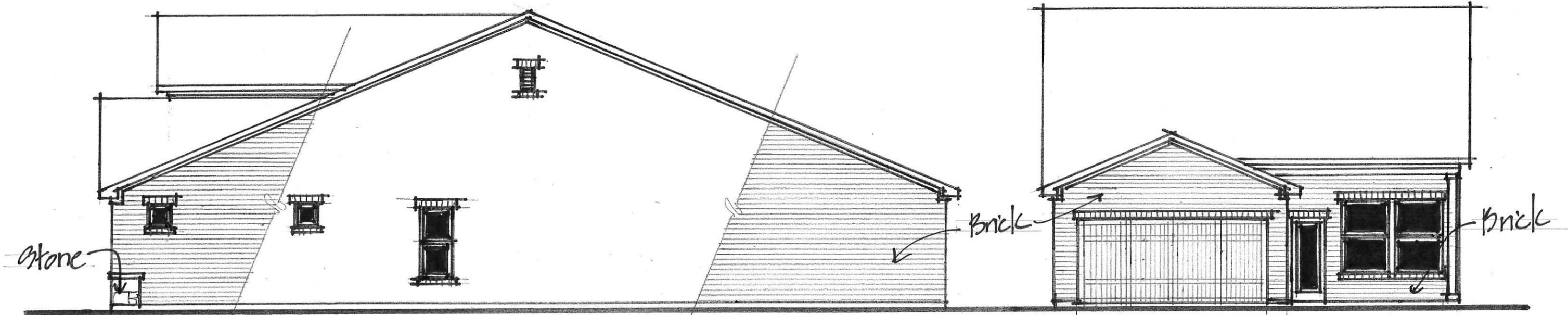


Brick

Brick

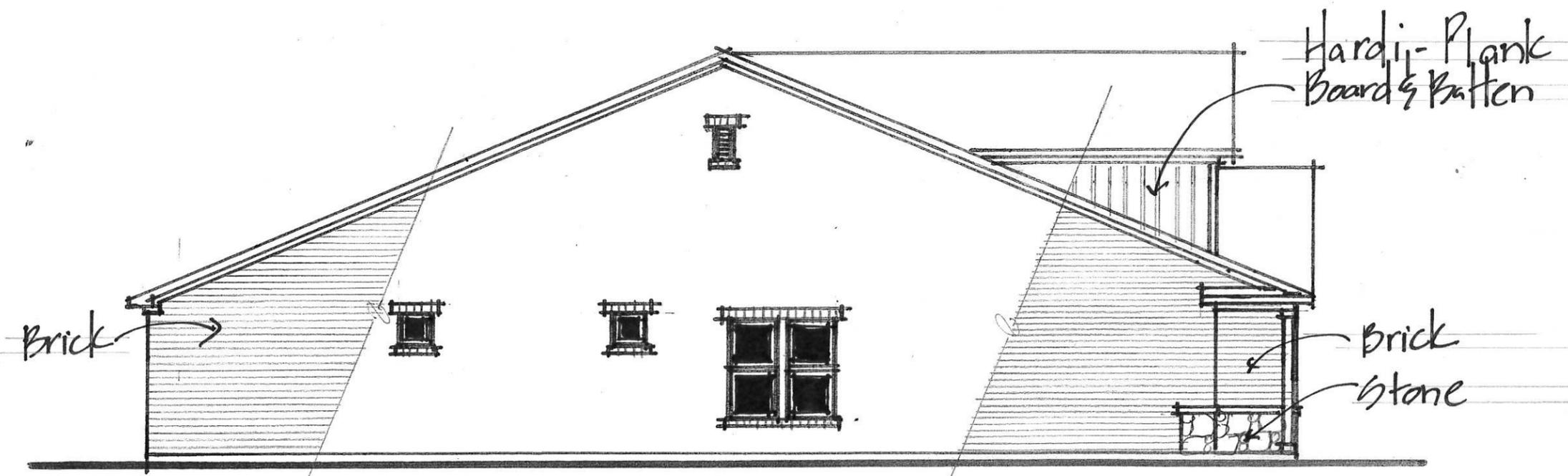
Stone

1020 "B" Eden Hall RA
5/7/19 C. Nicolosi



1028 "A" Right Side Elevation

1028 "A" Rear Elevation



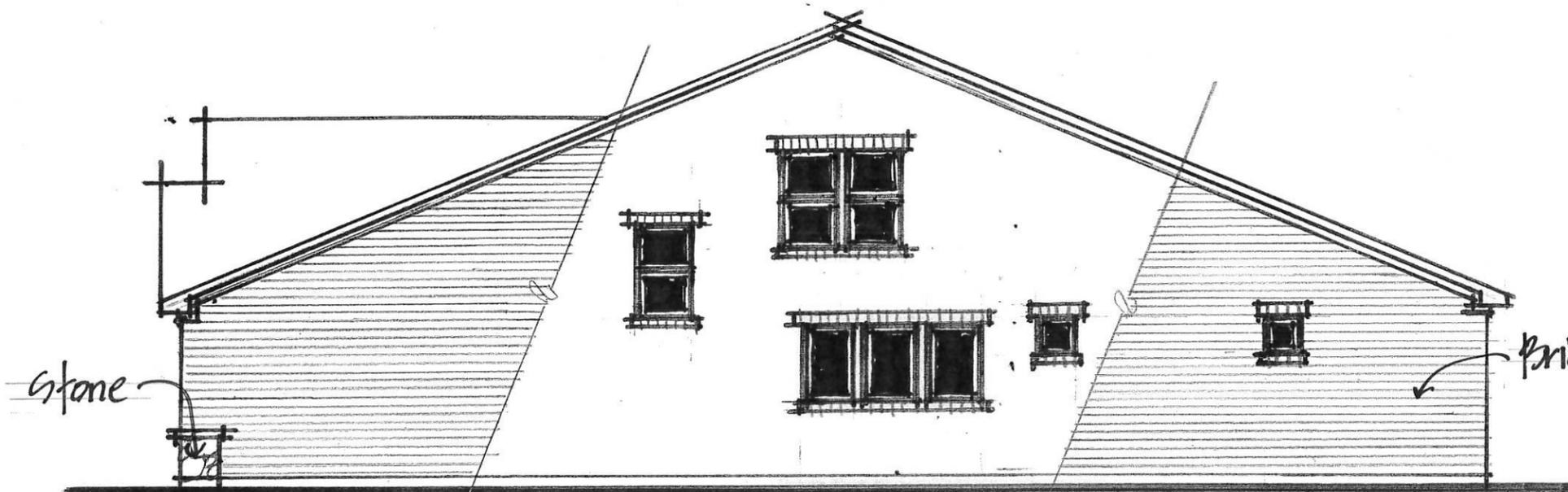
1028 "A" Left Side Elevation



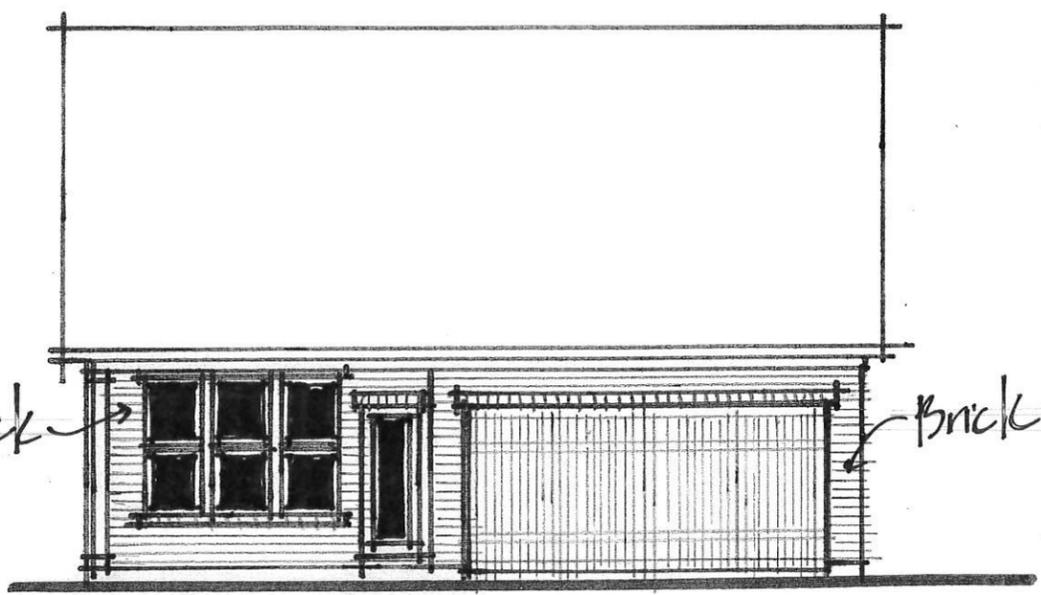
309 "A" Eden Hall St
5/8/19 C. Nicolosi



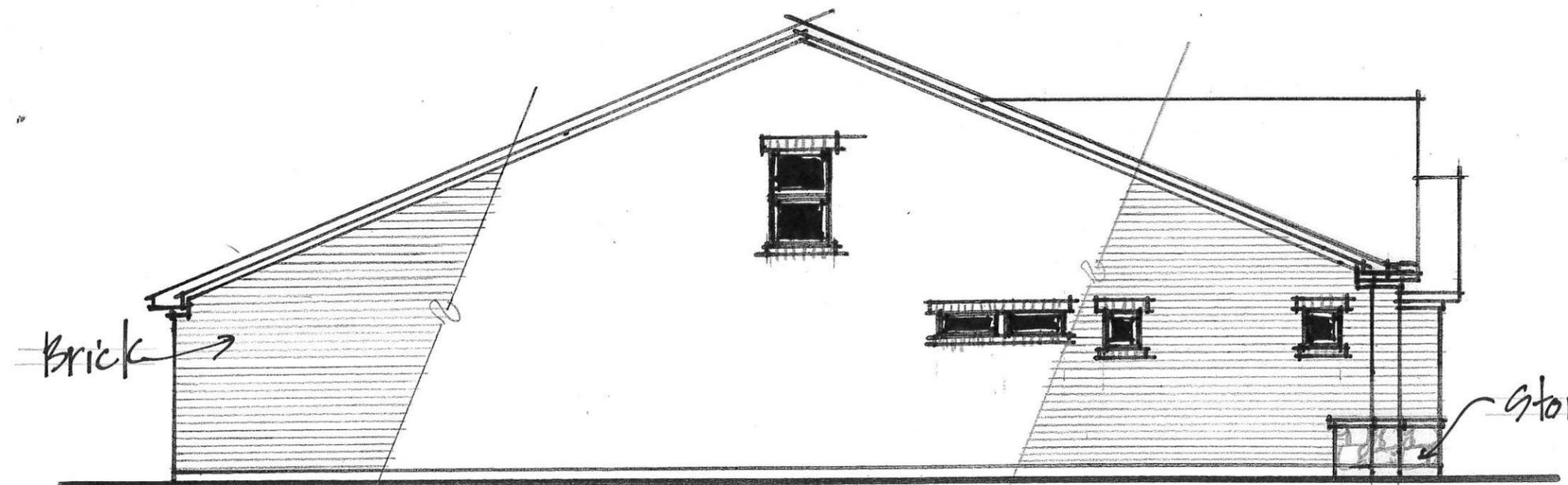
Boylston "B" Eden Hall St
5/6/19 C. Nicolosi



3091 "A" Right Side Elevation



3091 "A" Rear Elevation



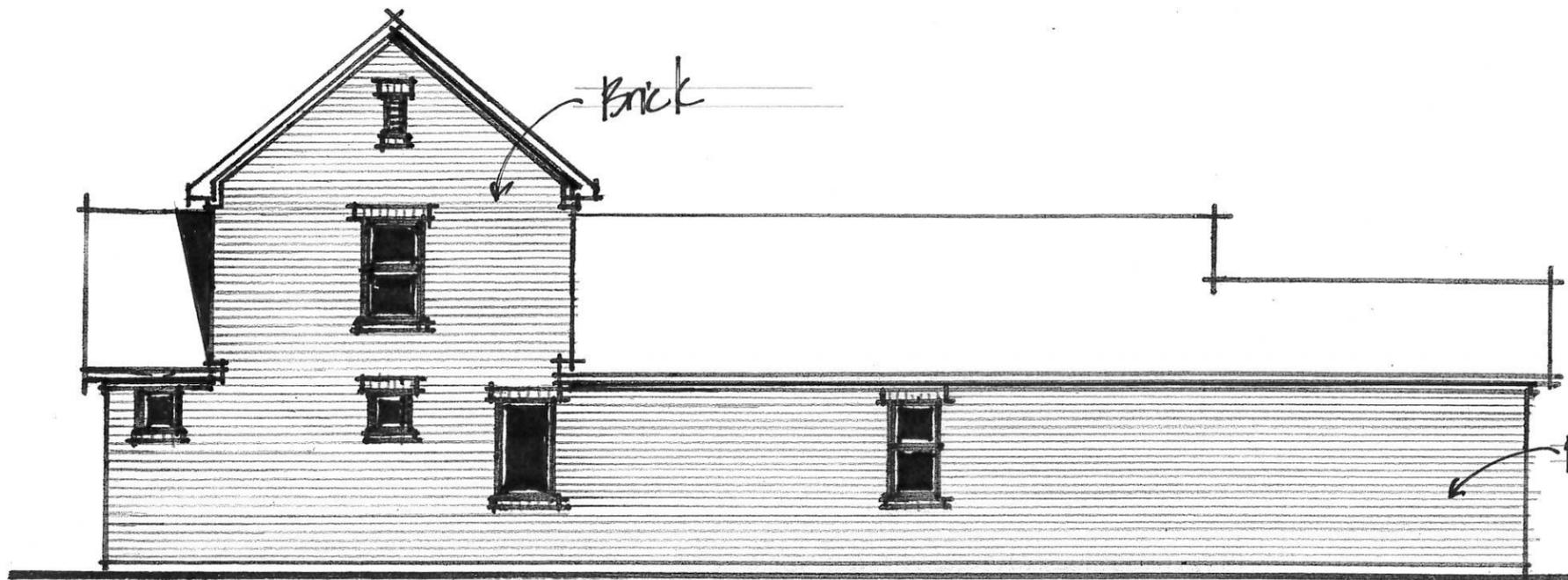
3091 "A" Left Side Elevation



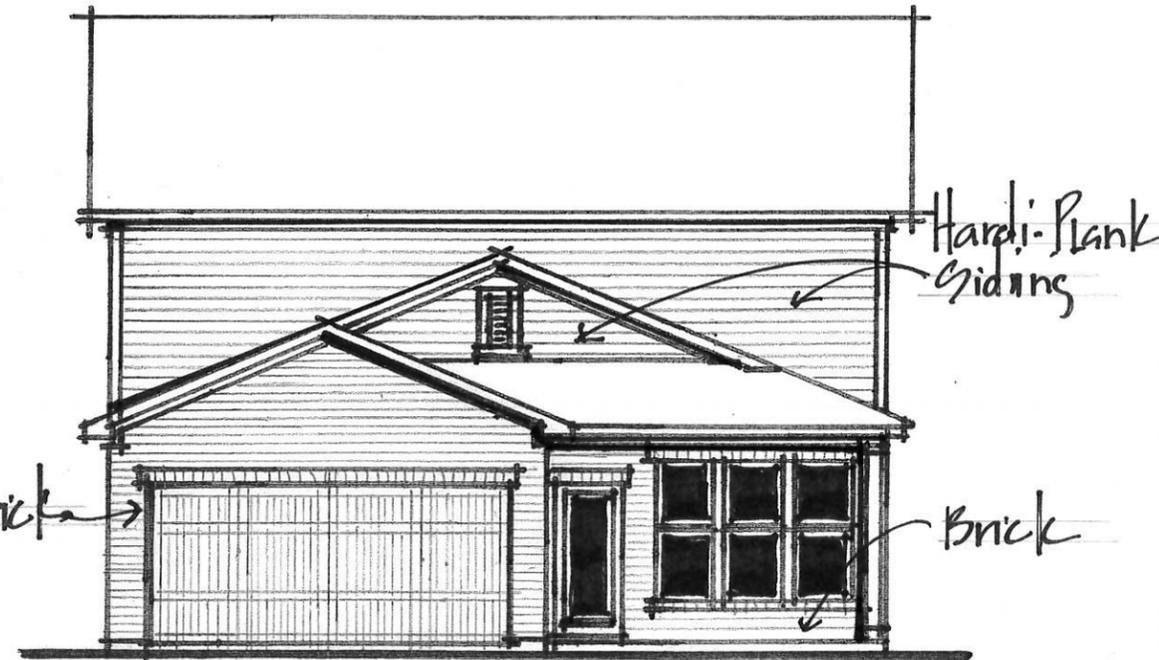
Boyz "A" Eden Hall St
5/9/19 C. Nicolosi



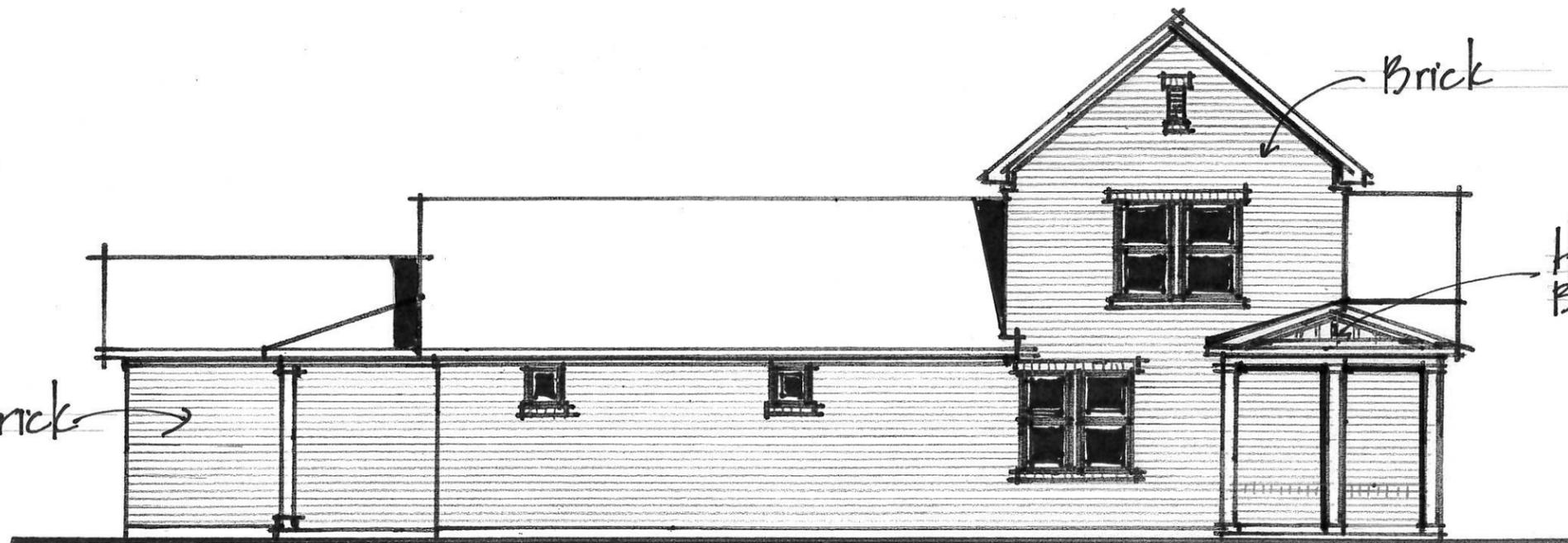
3092 1/2th Eden Hall rd
5/9/19 C. Nicolosi



Boyle "A" Right Side Elevation



Boyle "A" Rear Elevation



Boyle "A" Left Side Elevation