

Chelsea Building Group
131 Matthews Station Street, Suite 2A
Matthews, NC 28105

May 7, 2019

Jay Camp
Town of Matthews
232 Matthews Station Street
Matthews, NC 28105

RE: Request for Administrative Amendment

Dear Mr. Camp,

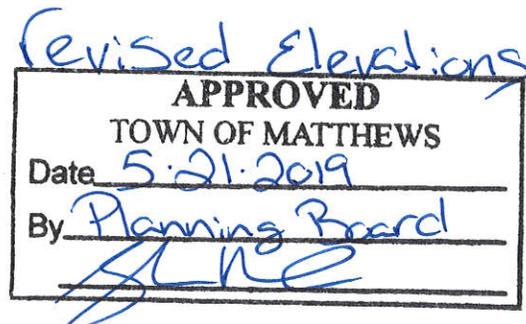
1. Two windows on the north elevation have been removed at the request of the structural engineer. The engineer needs a section of the exterior wall to extend from the foundation to the roof without any holes, either doors or windows. Given the quantity of windows on that side of the building we do not feel the change adversely affects the quality of the design.
2. For the same reason one window was removed on the south elevation and we would offer the same opinion of there being a sufficient number of windows remaining to maintain the design intention.
3. On the west elevation the windows on the third floor (in the gable end) have been replaced by louvers. This was requested by the mechanical engineer for fresh air intake. The louvers are the same size of the windows they replaced and have the same trim detail. Given that gable end louvers of this type are very common in residential architecture, especially in the third floor and attic areas, we feel this change is consistent with the design intent and will go unnoticed.
4. There are two shed dormers on the third floor. One on the north side and one on the south side. We have enlarged the size of the windows to provide a view for the occupants of those spaces. Previously the windows were up very high in the space. The roof overhang has been removed in front of the shed dormers in order to enlarge the windows. Given the strong horizontal lines formed by the brick ledge and the trim over the windows we do not feel this changes the character or scale of the building.
5. An exterior door has been added on the north elevation to serve a sprinkler room that has been added. An exterior door to that room is a requirement from the fire department. It will be painted to match the adjacent wall color and will be in the landscape buffer. It is unlikely it will be noticed.

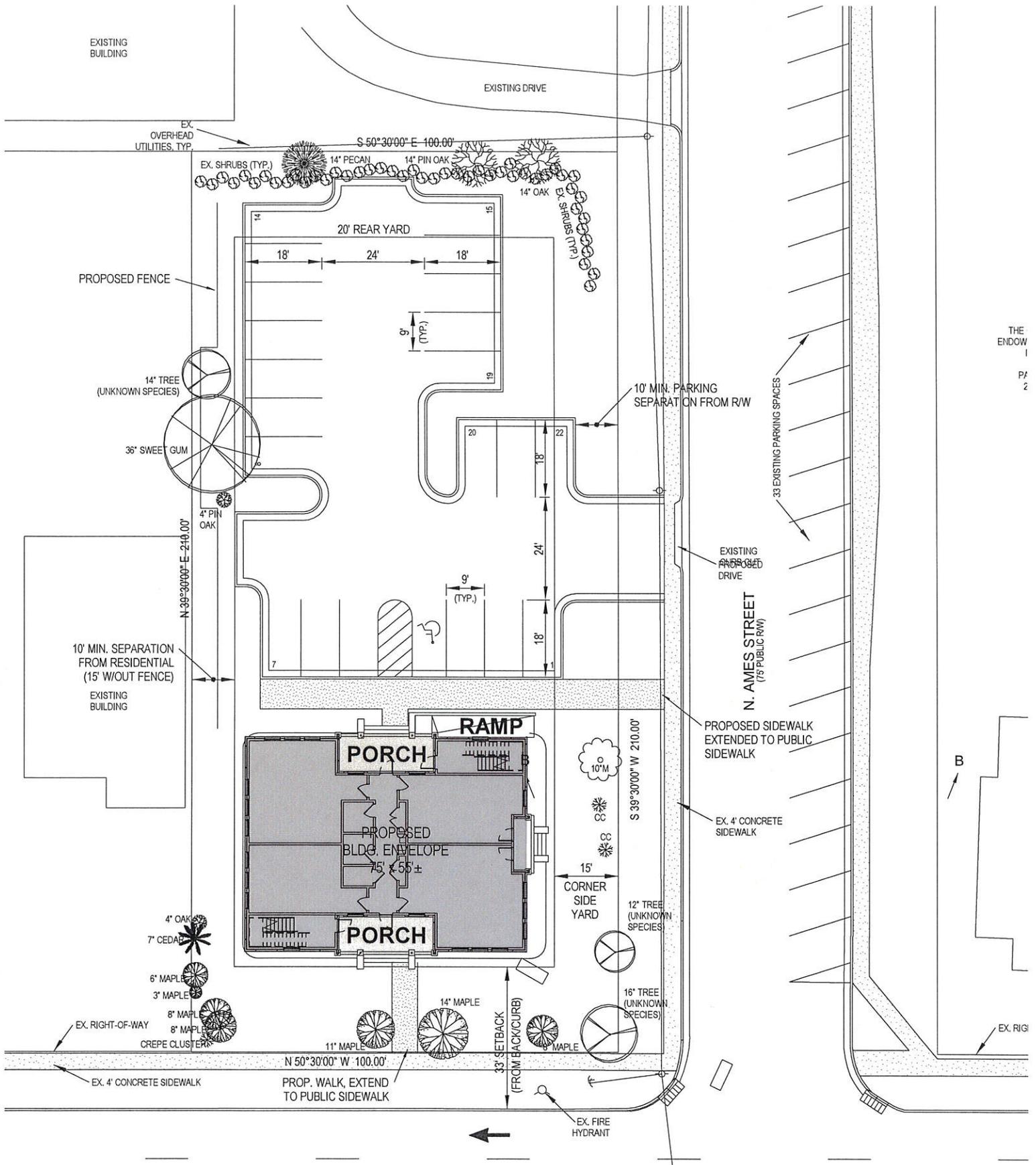
Thank you for your consideration. Please do not hesitate to contact me with any questions.

Sincerely,

Joe Fontana

Chelsea Building Group, LLC.





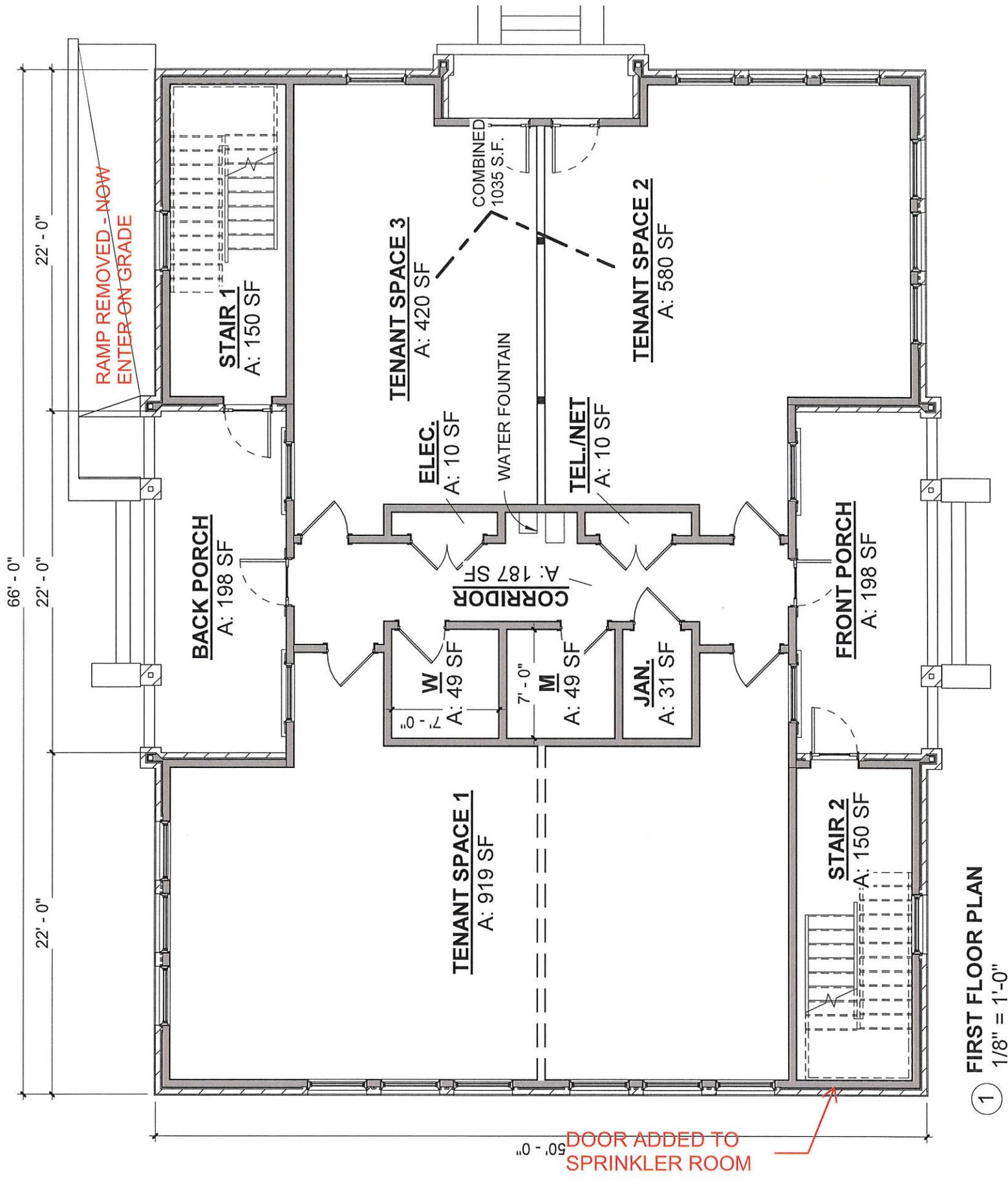
THE
ENDOW
1
PA
2

SITE PLAN

OFFICE BUILDING

Scale: 1" = 30'-0"

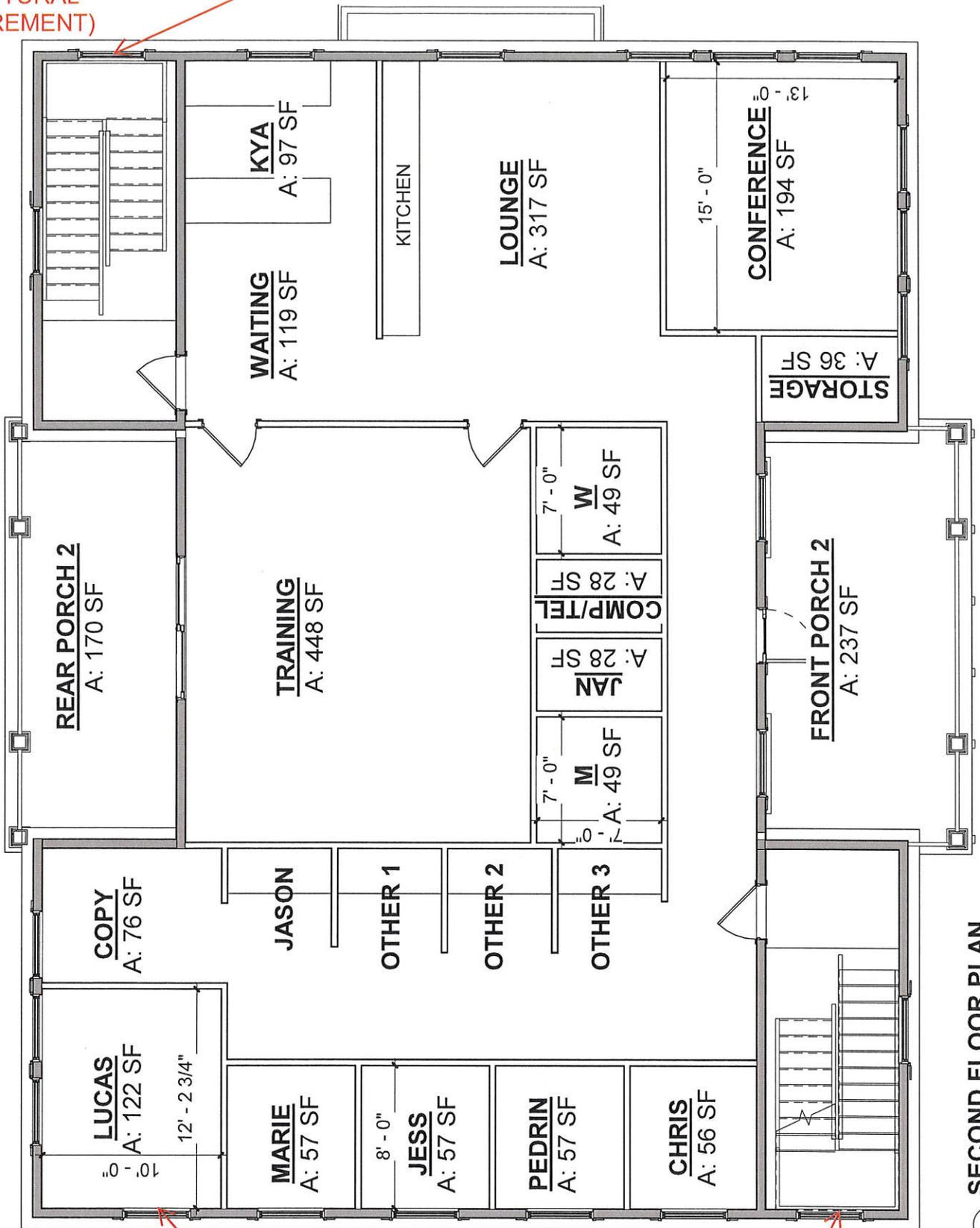
11/01/18



FIRST FLOOR PLAN
1/8" = 1'-0"

FIRST FLOOR PLAN	OFFICE BUILDING
Scale: 1/8" = 1'-0"	11/01/18
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WINDOW REMOVED
(STRUCTURAL
REQUIREMENT)



1 SECOND FLOOR PLAN
1/8" = 1'-0"

WINDOW REMOVED
(STRUCTURAL
REQUIREMENT)

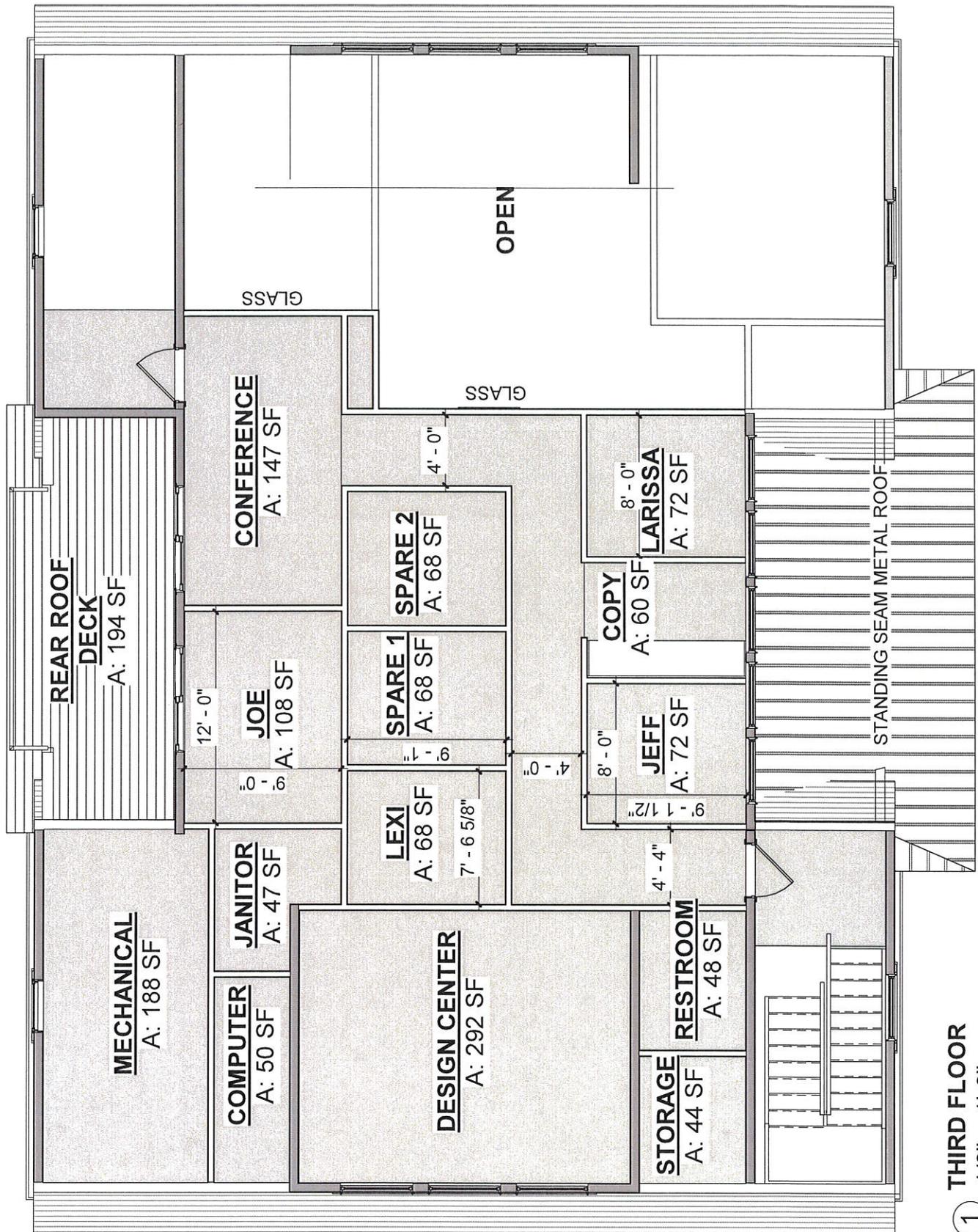
WINDOW REMOVED
(STRUCTURAL
REQUIREMENT)

SECOND FLOOR PLAN

OFFICE BUILDING

Scale: 1/8" = 1'-0"

11/01/18



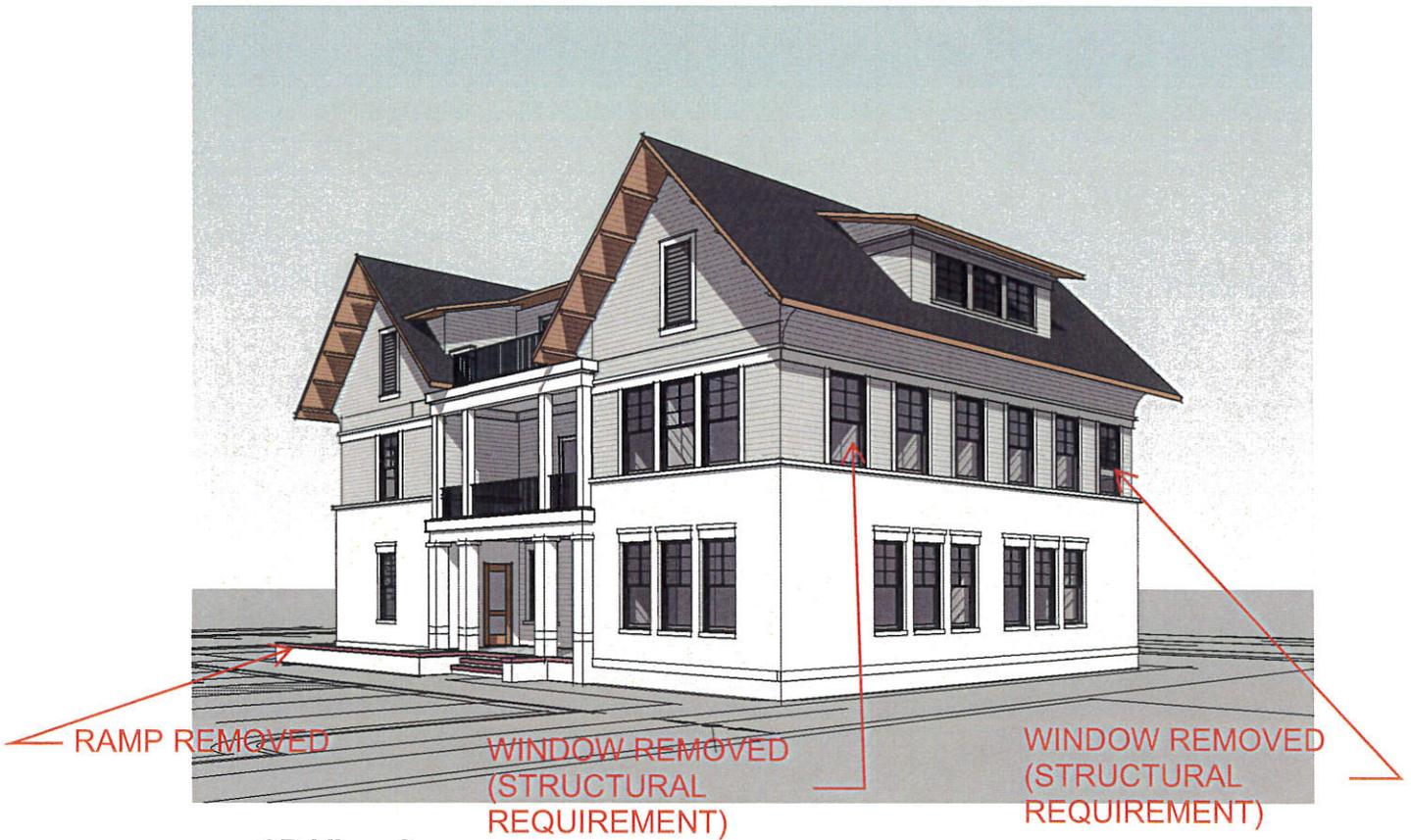
① **THIRD FLOOR**
1/8" = 1'-0"

THIRD FLOOR PLAN

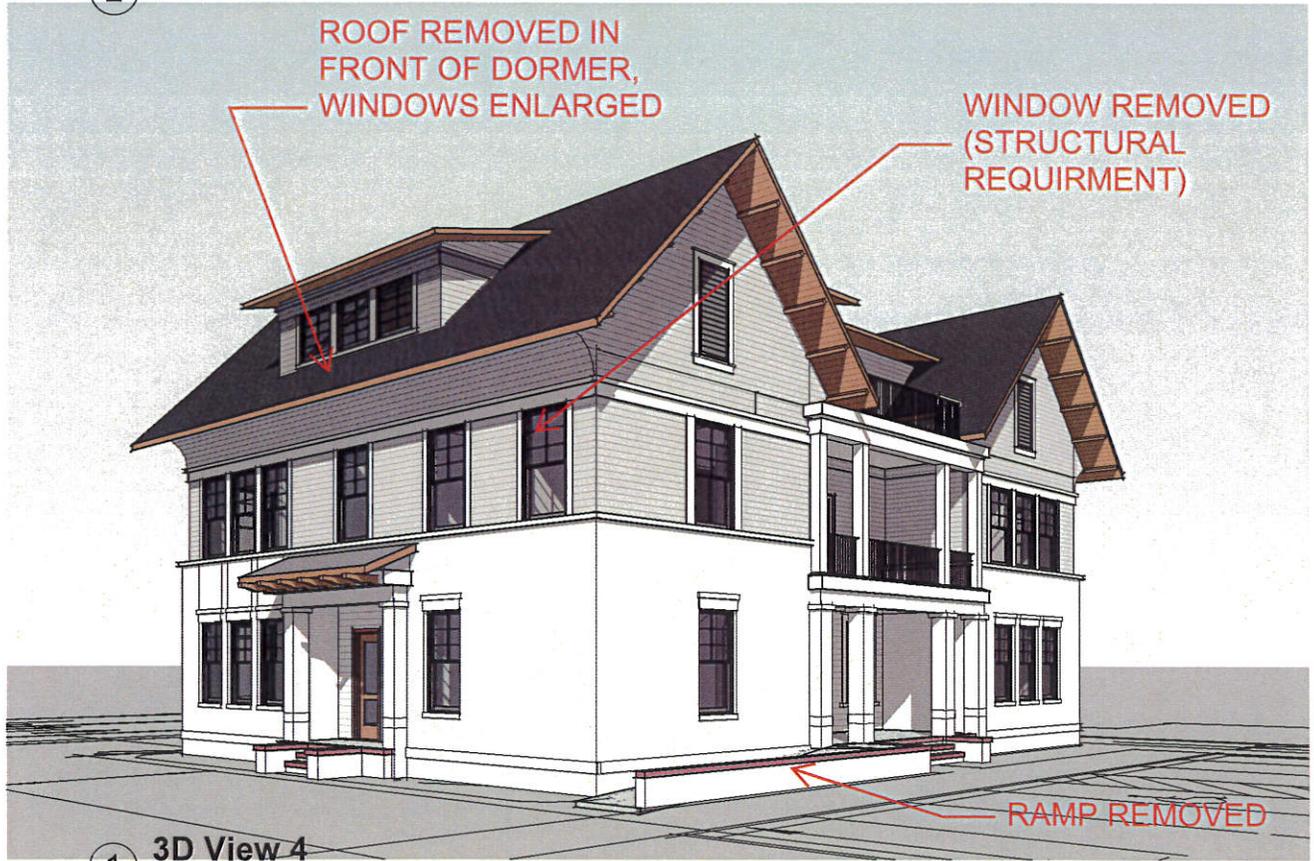
OFFICE BUILDING

Scale: 1/8" = 1'-0"

11/01/18



② 3D View 3



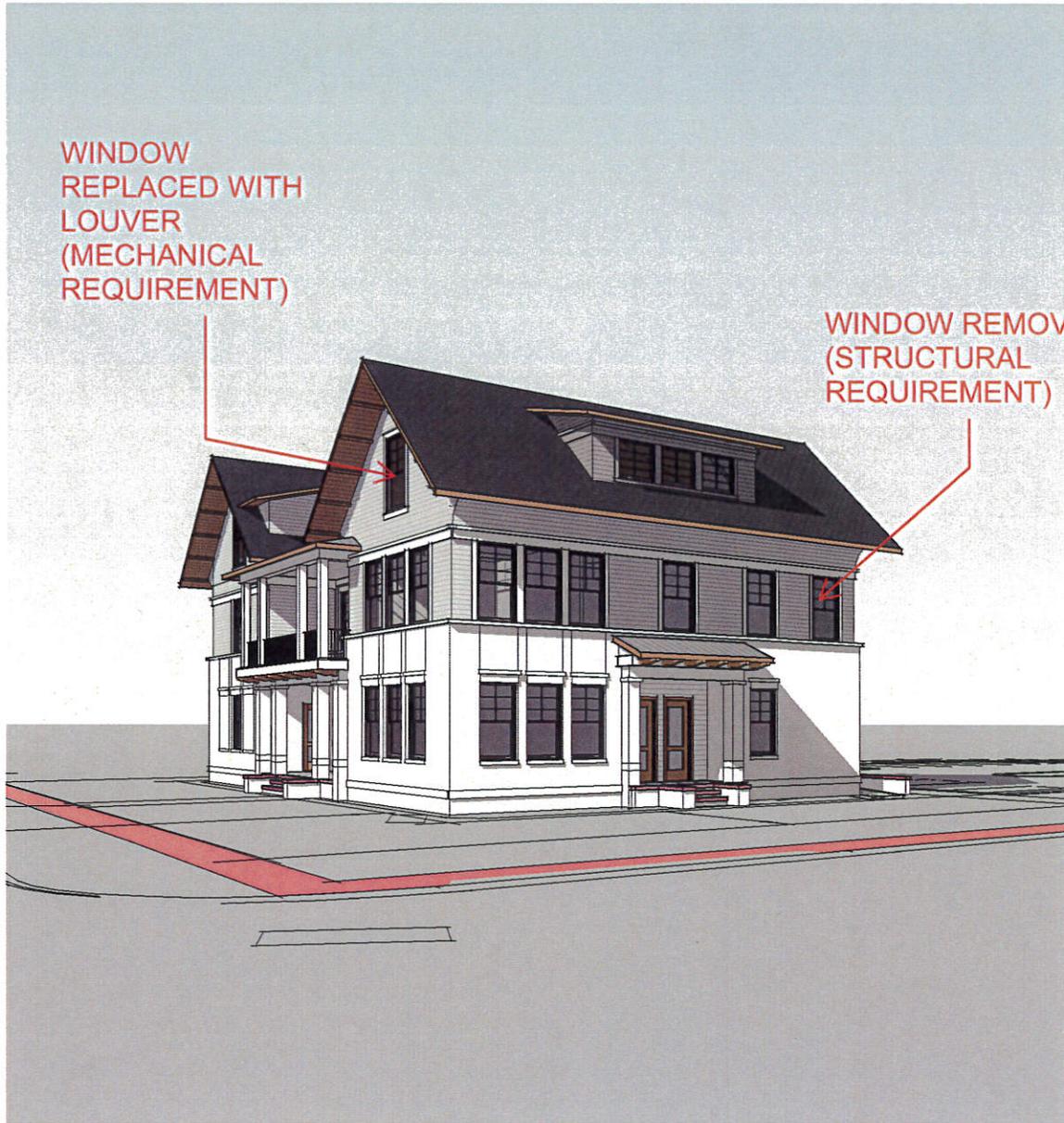
① 3D View 4

EXTERIOR VIEWS

OFFICE BUILDING

Scale:

11/01/18



② 3D View 2

EXTERIOR VIEWS

OFFICE BUILDING

Scale:

11/01/18

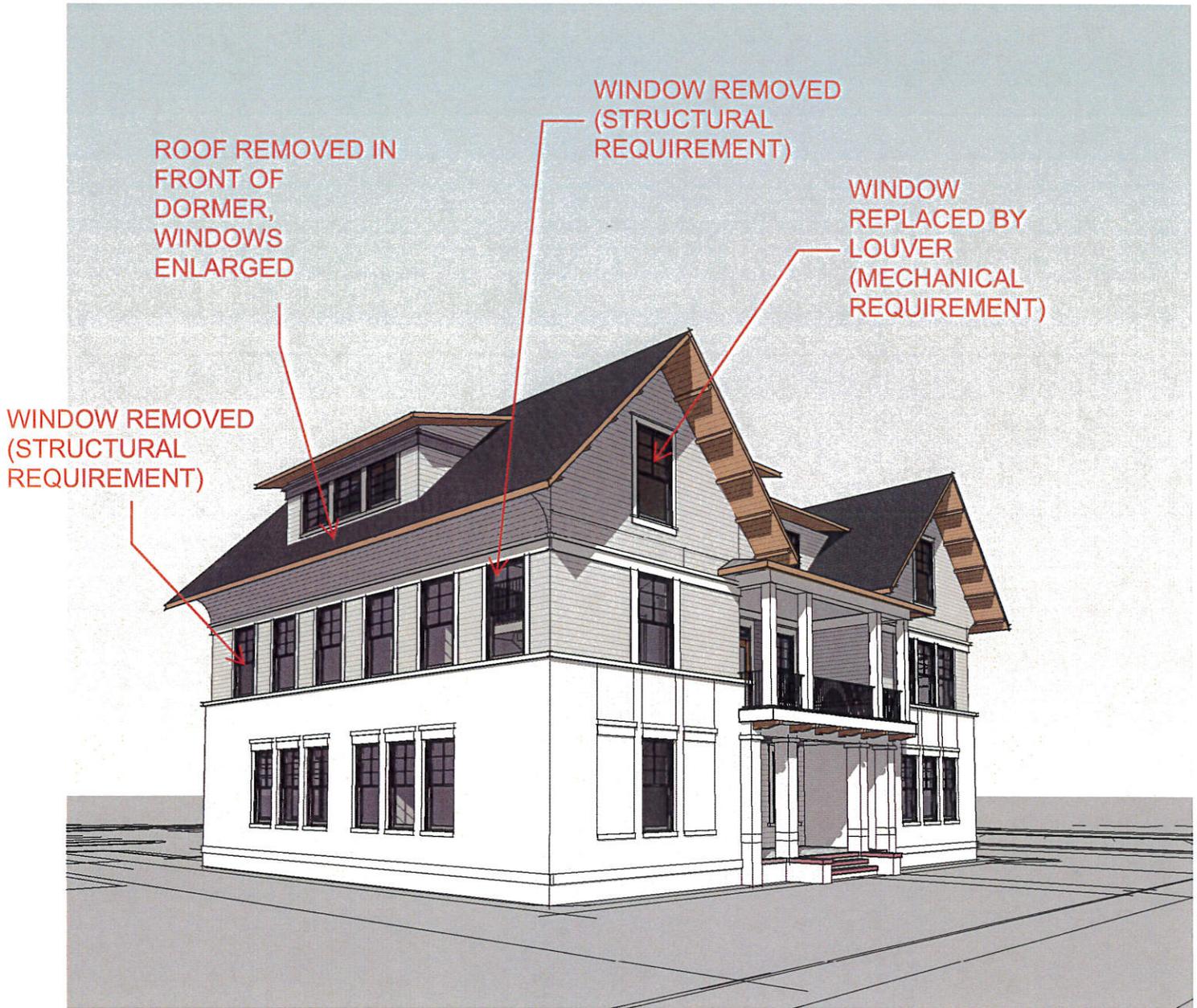


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① 3D View 1

EXTERIOR VIEWS

OFFICE BUILDING

Scale:

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① 3D View 5

EXTERIOR VIEWS

OFFICE BUILDING

Scale:

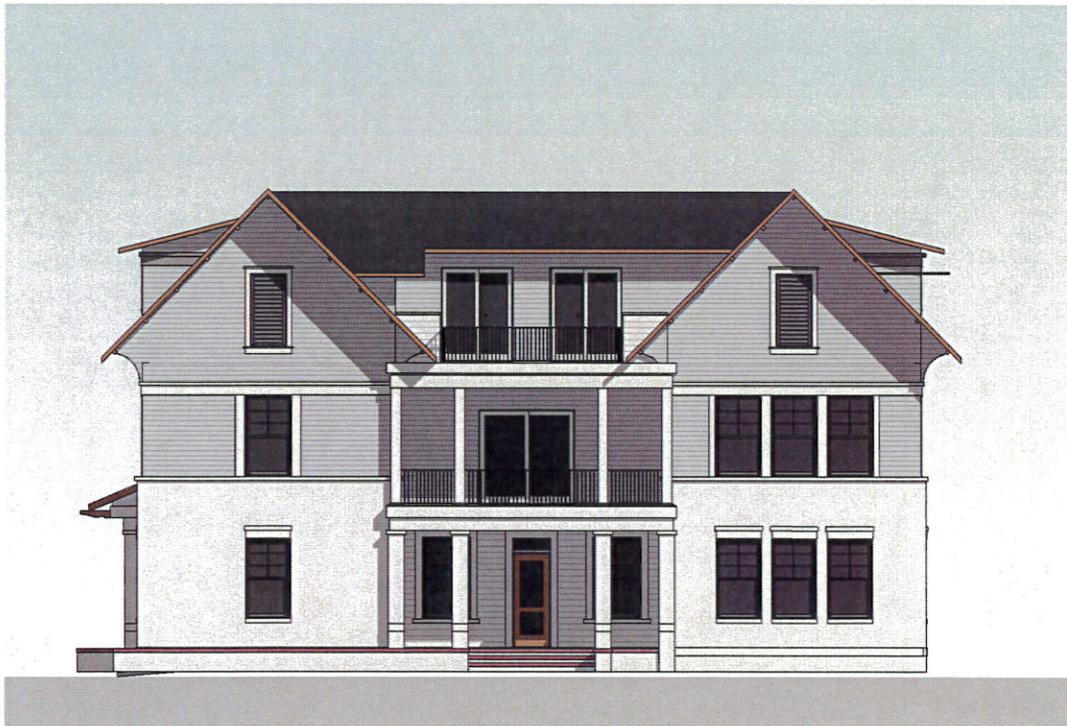
11/01/18

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② LEFT ELEVATION
1/16" = 1'-0"



① REAR ELEVATION
1/16" = 1'-0"

ELEVATIONS

OFFICE BUILDING

Scale: 1/16" = 1'-0"

11/01/18

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② RIGHT ELEVATION
1/16" = 1'-0"



① FRONT ELEVATION
1/16" = 1'-0"

ELEVATIONS

OFFICE BUILDING

Scale: 1/16" = 1'-0"

11/01/18

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① AERIAL REAR

AERIAL REAR

OFFICE BUILDING

Scale:

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① AERIAL FRONT

AERIAL FRONT

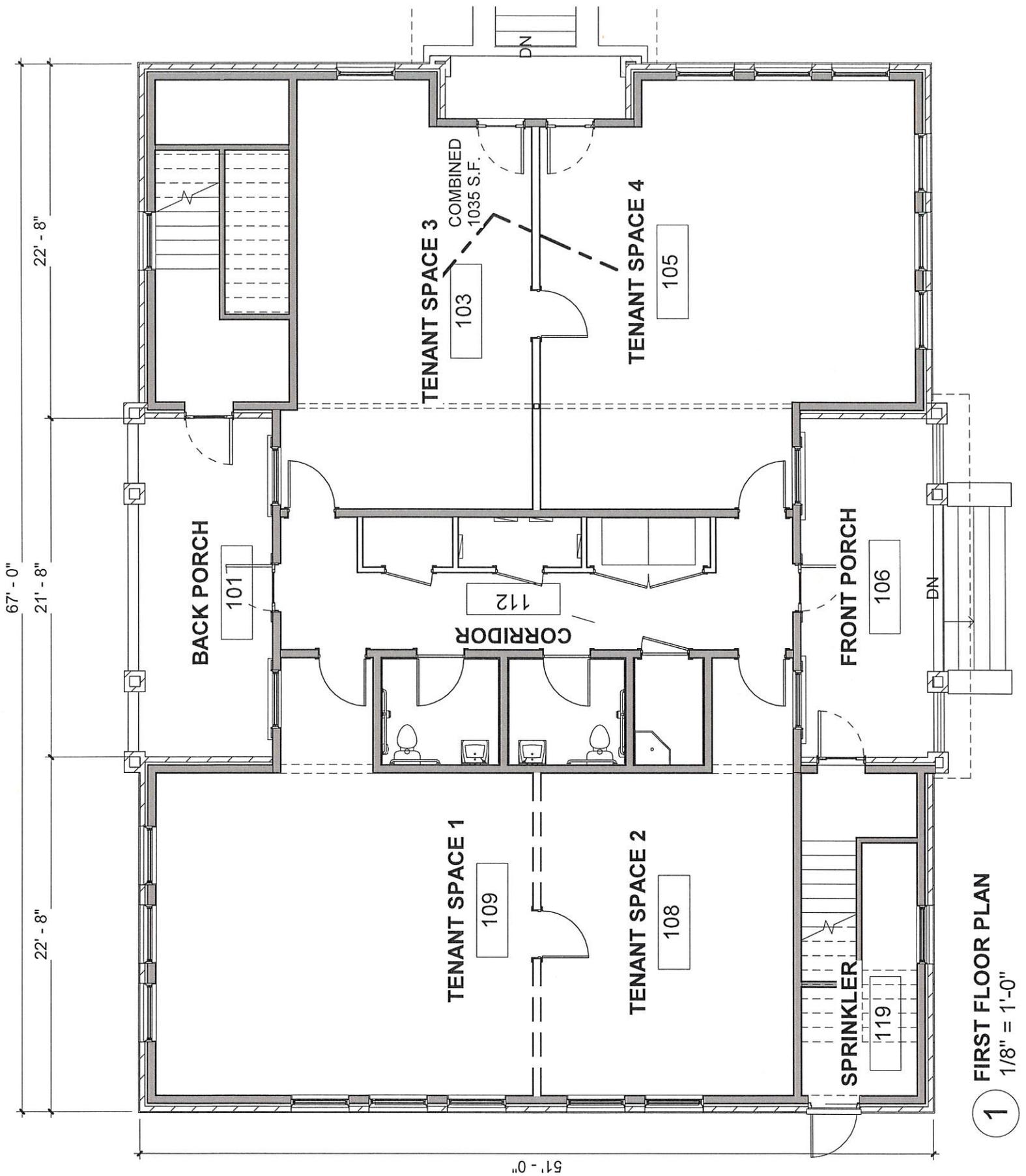
OFFICE BUILDING

Scale:

11/01/18

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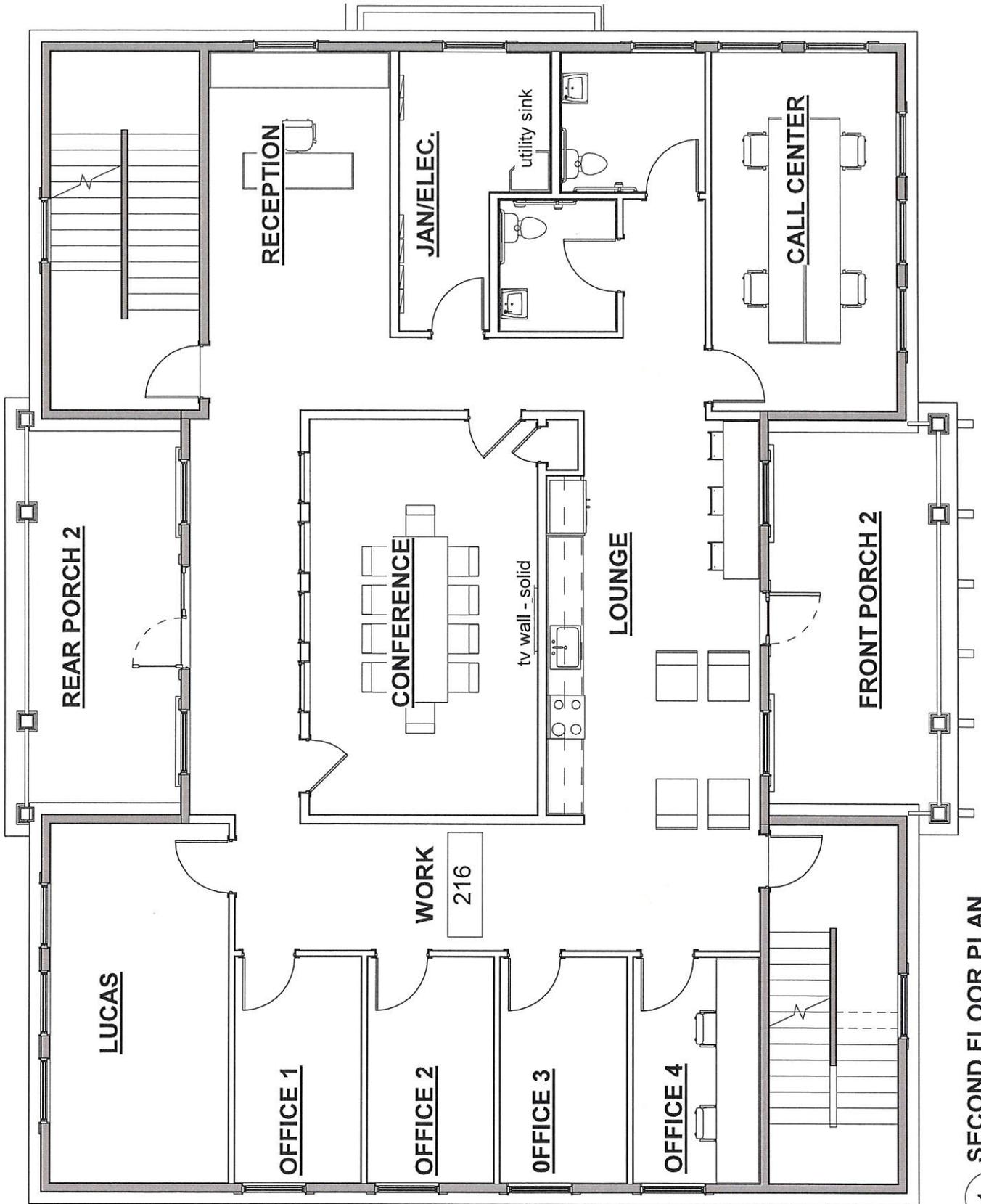


FIRST FLOOR PLAN

OFFICE BUILDING

Scale: 1/8" = 1'-0"

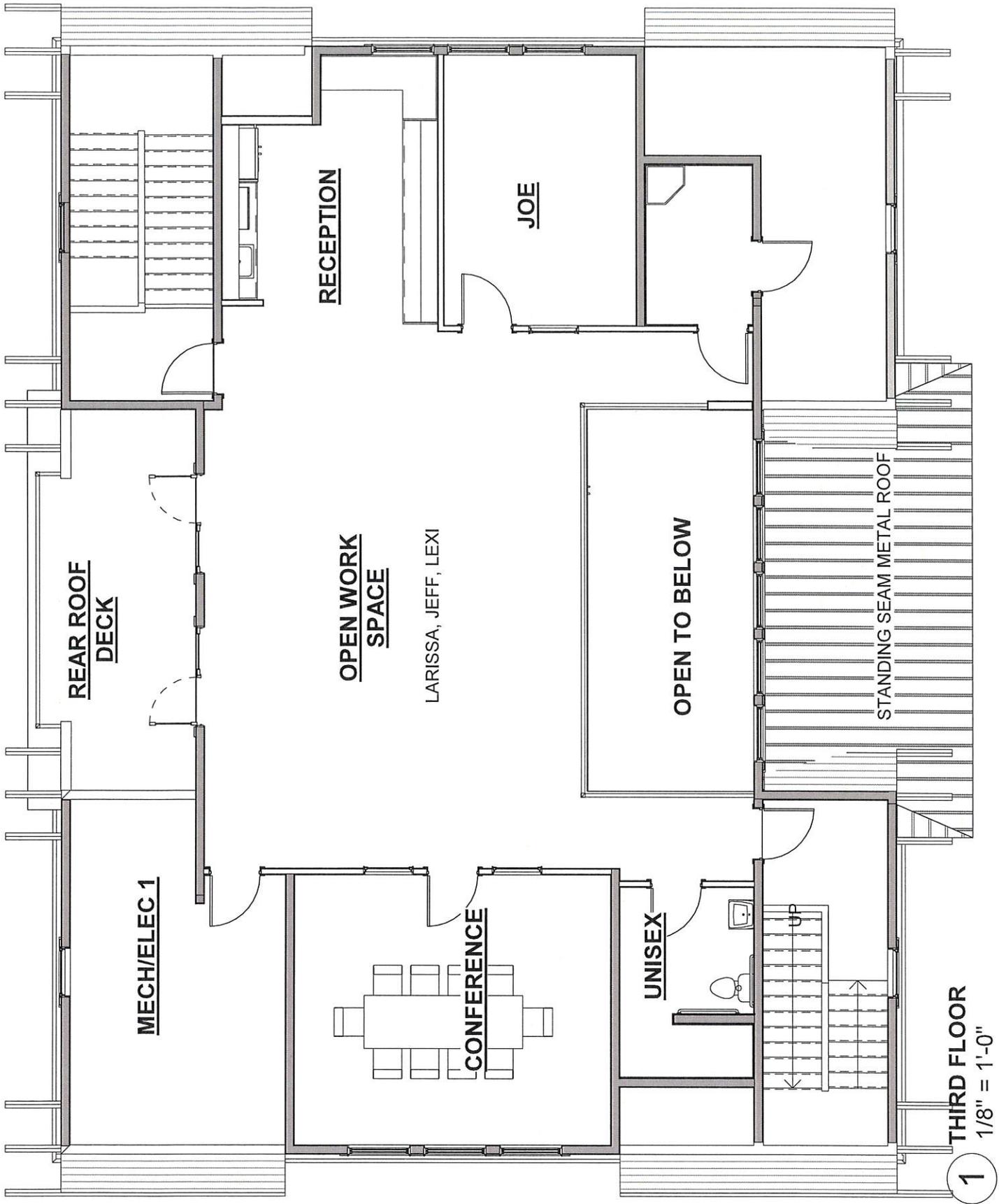
4/25/19



1 SECOND FLOOR PLAN
1/8" = 1'-0"

SECOND FLOOR PLAN OFFICE BUILDING

Scale: 1/8" = 1'-0" 4/25/19

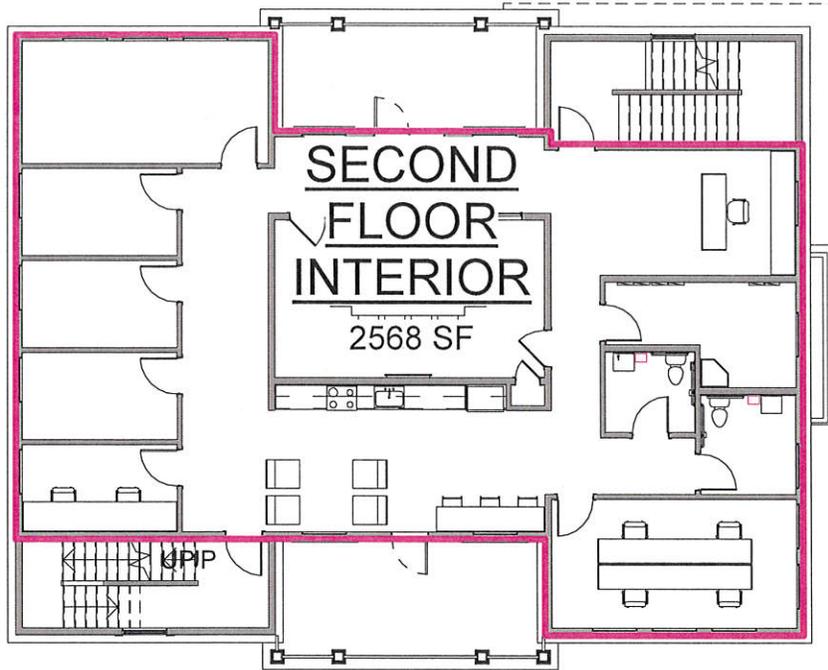


THIRD FLOOR PLAN

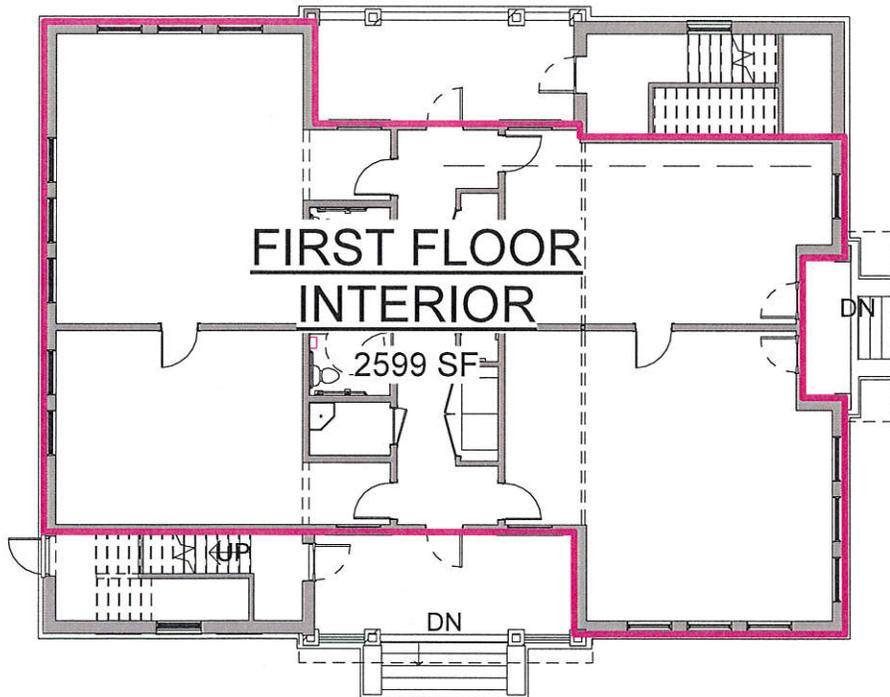
OFFICE BUILDING

Scale: 1/8" = 1'-0"

4/25/19



2 SECOND FLOOR
1/16" = 1'-0"



1 FIRST FLOOR
1/16" = 1'-0"

AREAS

OFFICE BUILDING

Scale: 1/16" = 1'-0"

4/25/19

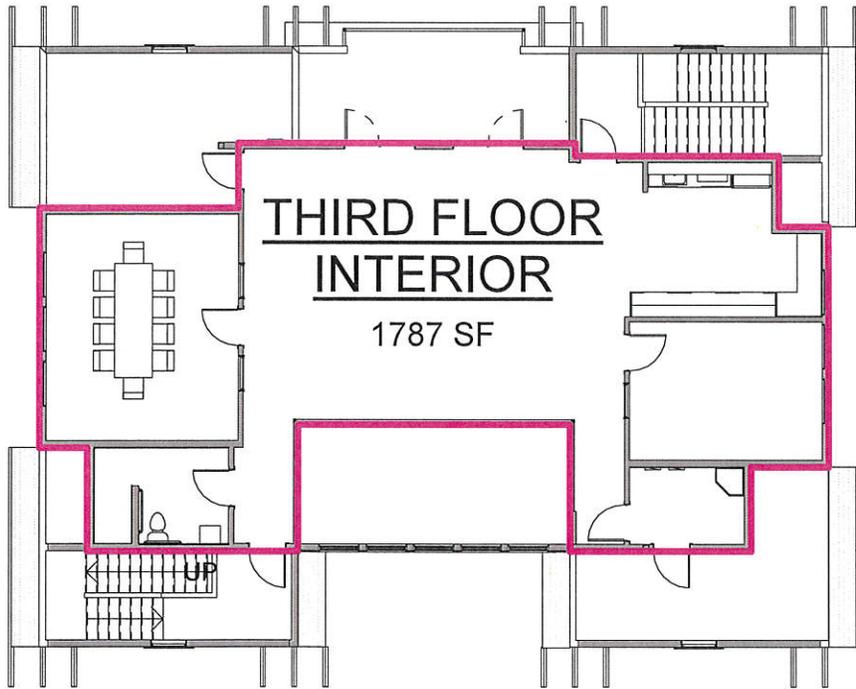
Area Schedule (Rentable)		
Name	Area	Heated

FIRST FLOOR INTERIOR	2599 SF	Yes
SECOND FLOOR INTERIOR	2568 SF	Yes
THIRD FLOOR INTERIOR	1787 SF	Yes

Yes

Grand total: 3

6954 SF
(7700 SF MAX. PER ZONING)



① **THIRD FL.**
1/16" = 1'-0"

AREAS

OFFICE BUILDING

Scale: 1/16" = 1'-0"

4/25/19

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1 3D View 3



2 CD View 4

EXTERIOR VIEWS

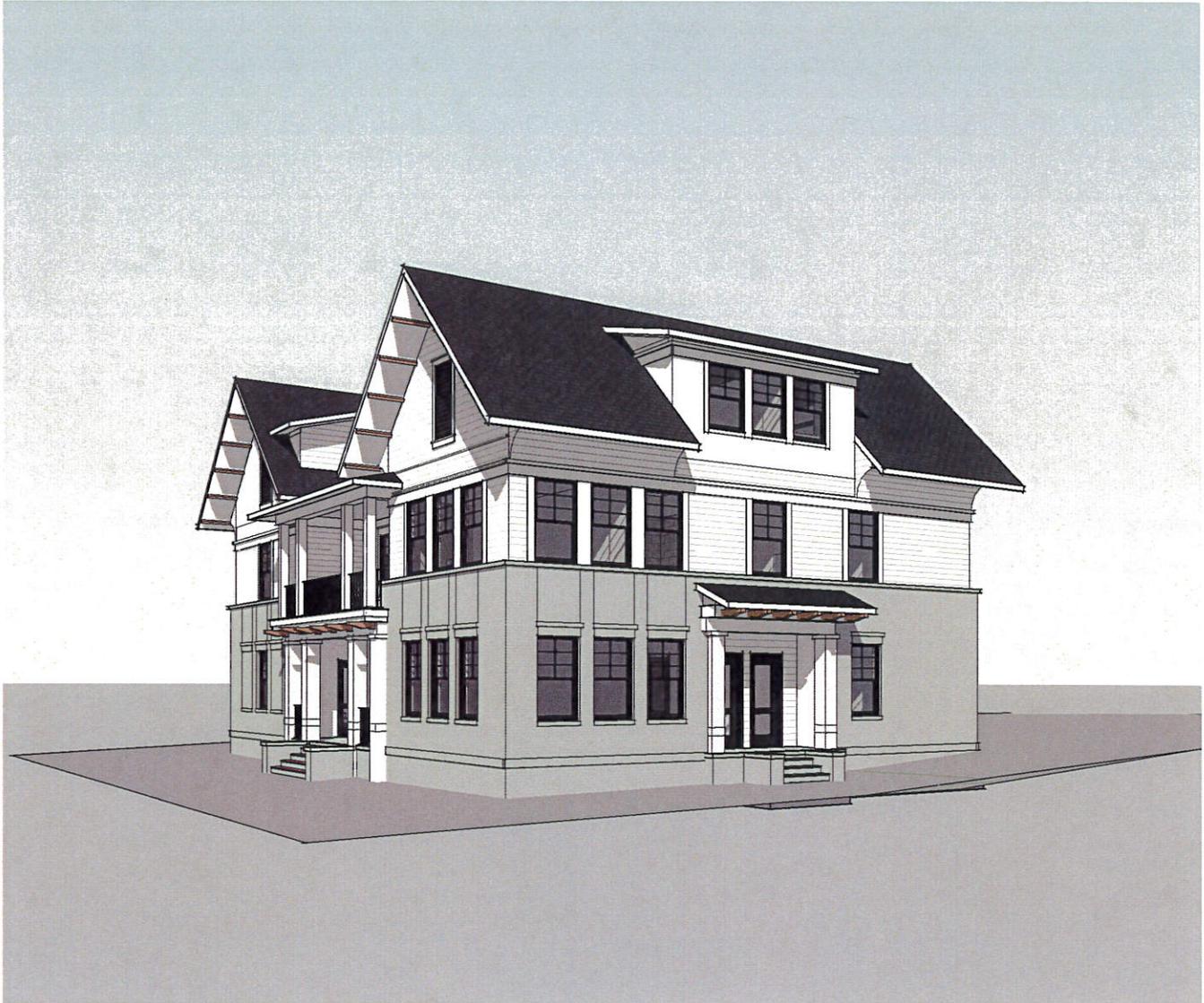
OFFICE BUILDING

Scale:

4/25/19


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1 CD View 2

EXTERIOR VIEWS

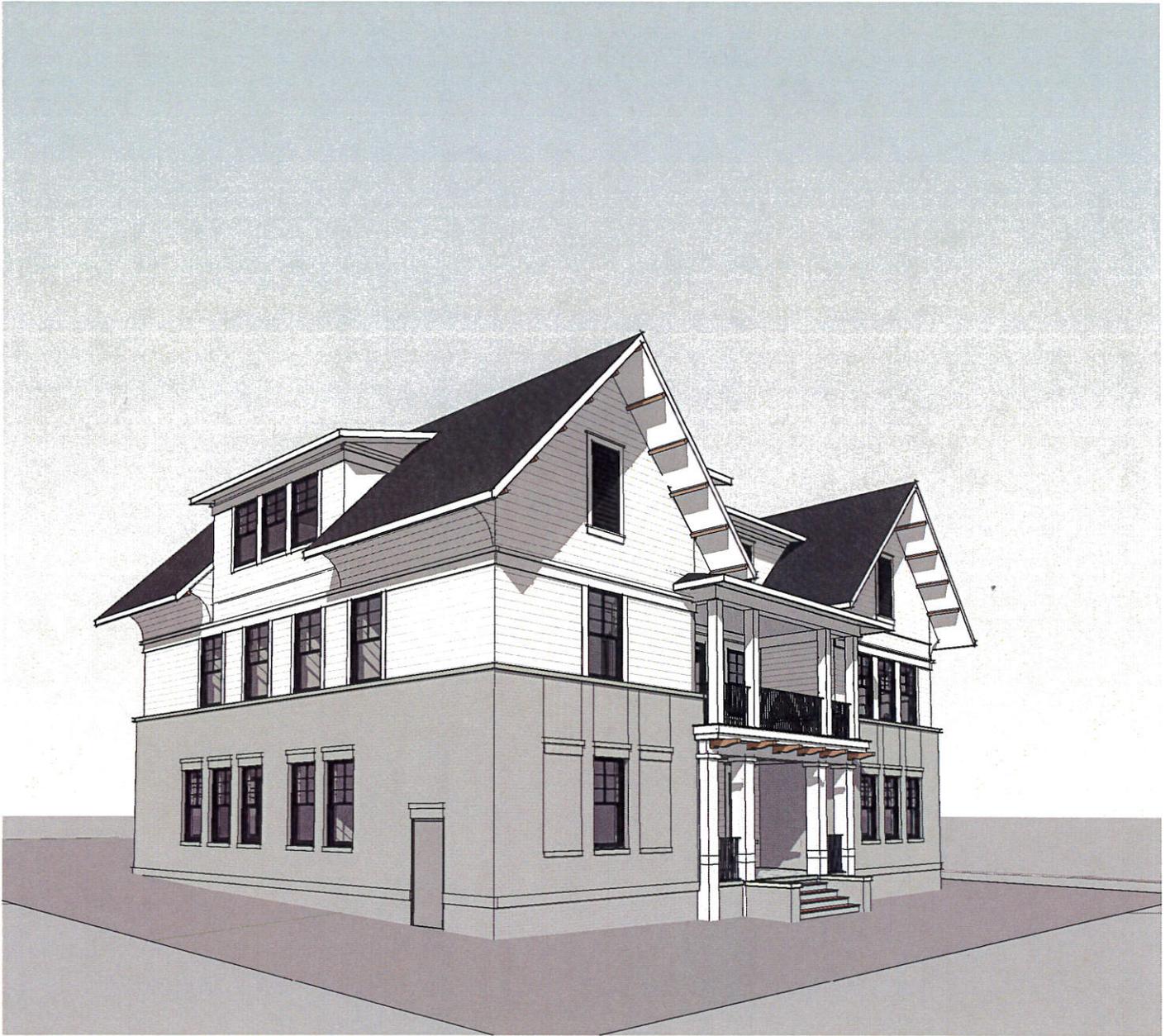
OFFICE BUILDING

Scale:

4/25/19

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1 CD View 1

EXTERIOR VIEWS

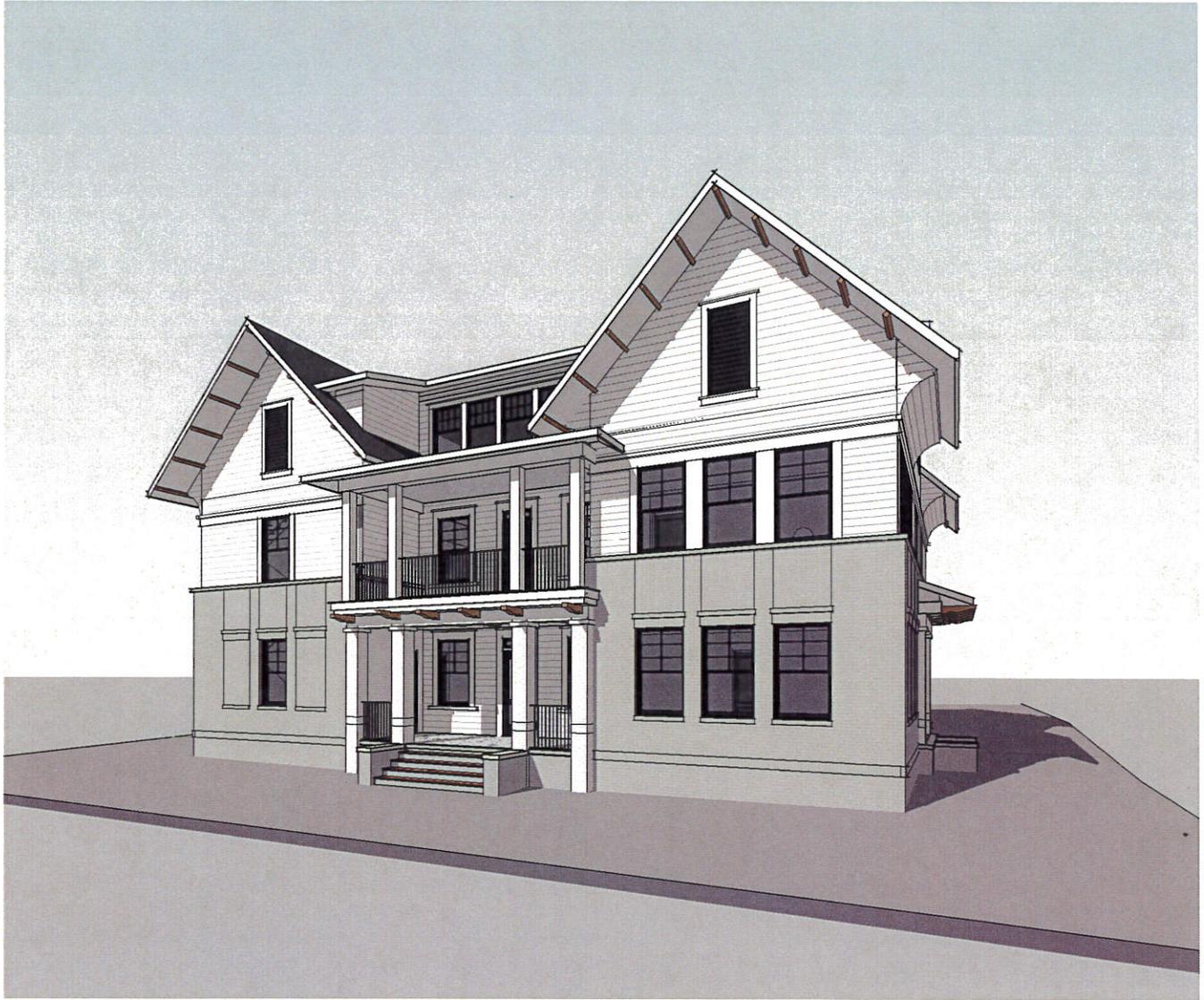
OFFICE BUILDING

Scale:

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1 CD View 5

EXTERIOR VIEWS

OFFICE BUILDING

Scale:

4/25/19



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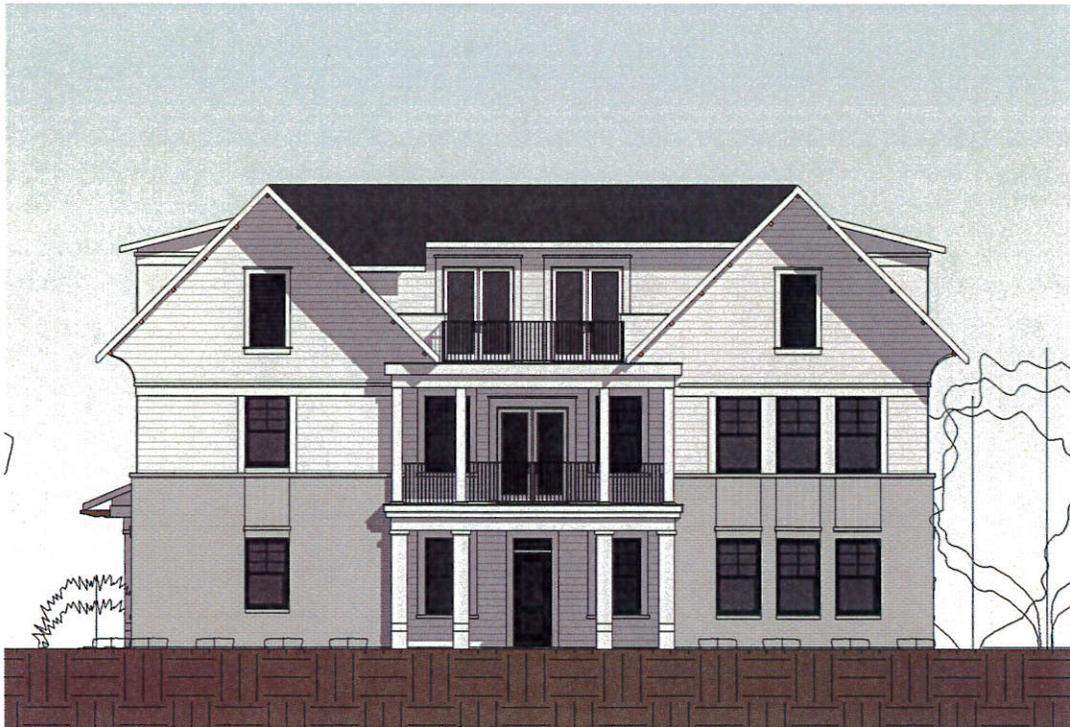
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2 LEFT ELEVATION
1/16" = 1'-0"



1 REAR ELEVATION
1/16" = 1'-0"

ELEVATIONS

OFFICE BUILDING

Scale: 1/16" = 1'-0"

4/25/19



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2 RIGHT ELEVATION
1/16" = 1'-0"



1 FRONT ELEVATION
1/16" = 1'-0"

ELEVATIONS

OFFICE BUILDING

Scale: 1/16" = 1'-0"

4/25/19


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1 AERIAL REAR

AERIAL REAR

OFFICE BUILDING

Scale:

4/25/19


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1 AERIAL FRONT

AERIAL FRONT	OFFICE BUILDING
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