

Agenda Item: Site Plan and Elevation Approval – Liberty Commerce Center, 10806 Monroe Rd

DATE: June 6, 2018

FROM: Mary Jo Gollnitz, Planner

Background/Issue:

Liberty Commerce Center is a business park along Monroe Rd that was created when the property was rezoned to I-1 (CD) in 2011.

- The development site is divided into 5 developable parcels.
- In June 2017, Town Board approved elevations for three new buildings in the center; Red Radish Catering, Dentist Salud and Nemo's Reef.
- Pointe Blank gun range has been open for several years, Red Radish Catering is under construction and Dentist Salud recently received approval to begin grading for their building within the development site.
- Nemo's Reef has decided not to pursue developing at Liberty Commerce Center.
- We have received site plan and elevation approval request from Covenant Pediatrics for the 10806 Monroe Rd location.

Attached is the conditional notes from the rezoning, request letter, along with site plan of the property and proposed elevations. Additional information about the proposal:

- Building will be 5420 sq ft.
- Conditional notes require 80% masonry construction.
- Building elevations show 4 sided masonry.
- Building construction fronts Monroe Road.
- Per the approved rezoning, private road behind proposed building (parallel to Monroe Rd) will be constructed by property owners at a future time.
- Staff is awaiting clarification of parking requirements for possible second business use in building.
- Landscaping, parking and signage will meet Matthews UDO requirements.

Proposal/Solution:

Determine that the site plan and elevation drawings are consistent with the original zoning conditions and approve the proposed plans.

Financial Impact:

None

Related Town Goal(s) and/or Strategies:

Quality of Life

Economic Development/Land Use Planning

Recommended Motion/Action:

Once parking requirements are verified, staff recommends Town Council approve the proposed elevations and site plan.

Conditional Notes for Liberty Commerce Center

1.g. "The Petitioner will require site plan and building elevation approval by the Town Board of Commissioners for each individual parcel prior to the development of each lot."

12.a. "All buildings will be built using four-sided architecture. Four-sided architecture is defined as having the following characteristics:

1) No expanses of blank walls greater than 25' in length are allowed. A blank wall is a facade that does not add to the character of the streetscape and does not contain windows or doors or sufficient ornamentations, decoration, or articulation (such as alternating materials, brick patterns, or similar architectural features).

2) Provide an operable doorway entrance from the street side along with a pedestrian walkway to that door. If the building is on a corner lot with two street frontages, the operable doorway entrance must be located on the primary street side (Monroe Road facade).

3) All mechanical and HVAC equipment must be screened from view from the street, whether located on the roof or ground. Such equipment may not be located between the building and the street."

12.b. "The principle building materials will be masonry and may include brick, stone, simulated stone, pre-cast stone, decorative concrete block, or a combination thereof. At least 80% of each building facade exclusive of windows, doors, and roofs will be constructed of masonry. Stucco or EFIS accents will be allowed. Vinyl, metal, and wood siding will not be allowed as building materials."

12.c. "Meter banks will be hidden from view from public streets to the greatest practical extent."

12.d. "Street side doorway entrances will remain unlocked, usable, and operable for use by the public and pedestrians during normal business hours."

12.e. "Trash pickup will be limited to regular business hours and may not occur before 7 a.m. or after 7 p.m."

12.f. "Deliveries will be limited to regular business hours and may not occur before 7 a.m. or after 7 p.m."



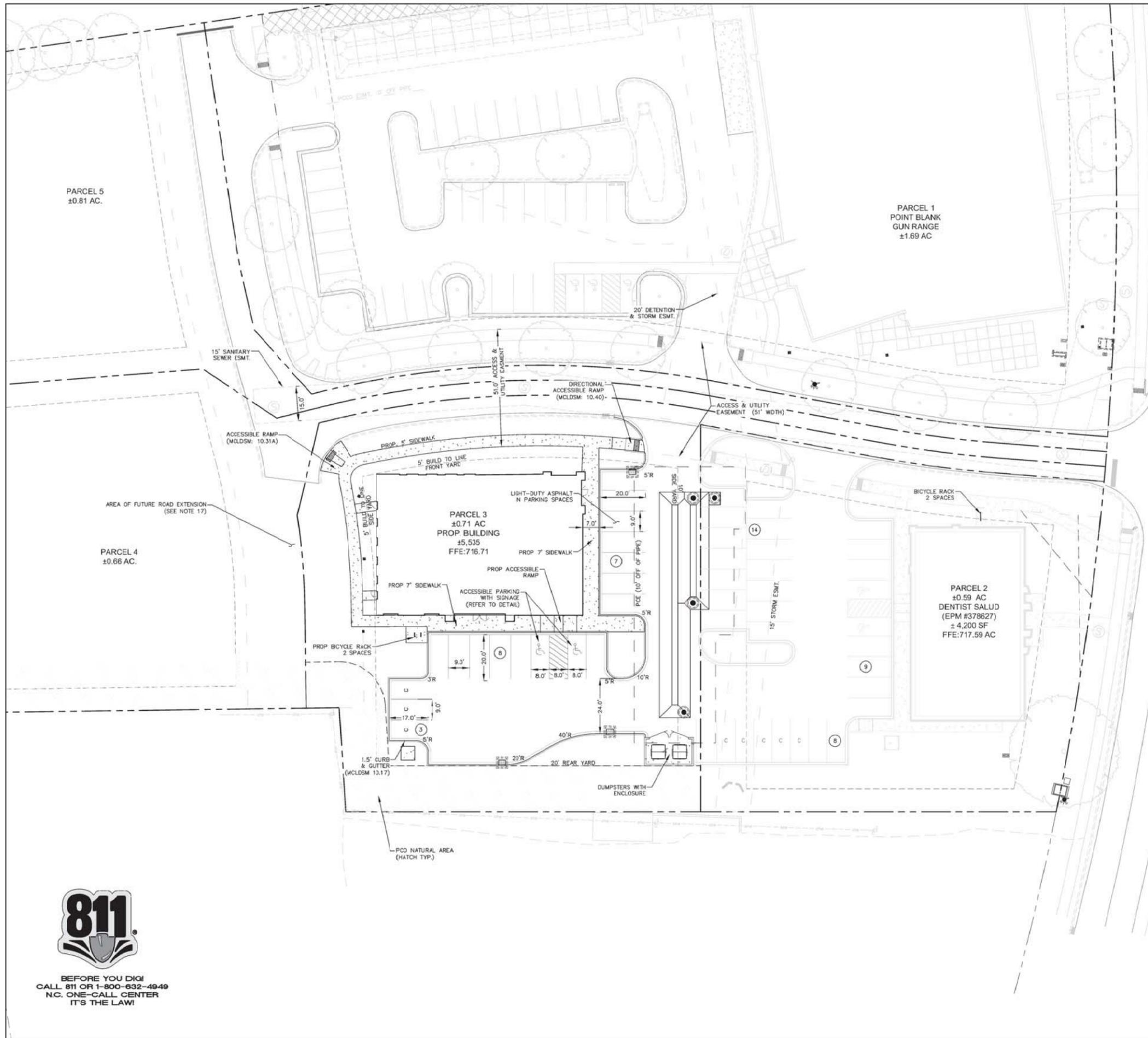
To: Town of Matthews Planning and Development

Re: Covenant Pediatrics
Monroe Road
Matthews, NC 28105

Ratzlaff Construction will be the general contractor and representing Dr. Anthonia and Mr. Henry Emezie for the planning hearing of their new office in the Liberty Commerce Center. The office will be designed by Urban architecture and will be 5420 square feet. The design has the similar features the shooting range and the dentist office previously approved. We would like to have our review during the June 11, 2018 planning meeting.

Kind Regards,

Don Harris
Project Manager

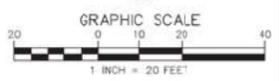


DEVELOPMENT SUMMARY

TAX PARCEL ID #:	213 012-70
TOTAL SITE AREA:	0.71 AC
ZONING:	I-1 (CD) PETITION (#2010-561)
SETBACKS:	FRONT 20' SIDE 10' REAR 20'
MAX. BUILDING HEIGHT:	35'
PROPOSED USE:	MEDICAL OFFICE
VEHICULAR PARKING:	REQUIRED: DENTIST SALUD: 21 (1 SP / 200 SF) COVENANT PEDIATRICS: 28 (1 SP / 200 SF) TOTAL: 49 SPACES PROPOSED: DENTIST SALUD: 31 SPACES COVENANT PEDIATRICS: 18 SPACES TOTAL: 49 SPACES
BICYCLE PARKING:	REQUIRED: 3 SPACES (5% OF VEHICLE SPACES) PROPOSED: 4 SPACES (8% OF VEHICLE SPACES)
POST CONSTRUCTION UNDISTURBED OPEN SPACE:	10% OF SITE AREA MUST BE RESERVED AS UNDISTURBED OPEN SPACE (SEE LANDSCAPE PLAN)
REQUIRED:	193,842 SF (4.45 AC) x10%
PROVIDED:	19,384 SF (0.45 AC)
UNDISTURBED:	17,653 SF (0.41 AC)
DISTURBED:	6,372 SF (0.15 AC)
TOTAL:	24,255 SF (0.56 AC)

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:
SKIDMORE SURVEYING, INC.
115 UNIONVILLE INDIAN TRAIL ROAD STE. B-11
INDIAN TRAIL, NC 28079
(704)-289-4855
SUMMIT LAND SERVICES, P.C.
P.O. BOX 7442
CHARLOTTE, NC 28241
(704) 626-2800
 - SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS PREPARED BY:
URBAN ARCHITECTURAL GROUP
JOHN URBAN
1242 MAIN DRIVE SUITE 200
704-841-1899
 - PER NOTE I.D. OF THE APPROVED REZONING PETITION (#2010-561), PARCELS 2 AND 3 MAY EACH BE DEVELOPED AS SINGLE PARCELS (AS SHOWN ON THIS PLAN) OR AS TWO PARCELS.
 - TRASH SERVICE FOR THE SITE WILL BE CONTRACTED THROUGH A PRIVATE COLLECTION COMPANY. COORDINATION FOR SERVICE IS THE RESPONSIBILITY OF THE APPLICANT.
 - DIMENSIONS SHOWN ARE TO THE FACE OF CURB (UNLESS OTHERWISE NOTED). CURB RADII SHALL MEASURE 5' AT FACE OF CURB UNLESS OTHERWISE NOTED.
 - PER THE REZONING PETITION (#2010-561), DEVELOPMENT STANDARD NOTE #7, "THE 5' SIDEWALKS ALONG PRIVATE DRIVES A AND B SHALL BE INSTALLED BY INDIVIDUAL PARCEL OWNERS AS A PART OF INDIVIDUAL PARCEL DEVELOPMENT."
 - ROAD SECTION/WIDTH WAS DETERMINED AND APPROVED BY MATTHEWS TOWN BOARD AS A PART OF THE REZONING PETITION (#2010-561) AND AS A PART OF THE SITE PLAN APPROVAL; IT IS DESIGNED TO THE TOWN'S TYPE I - OFFICE/RESIDENTIAL STANDARD PER THE MATTHEWS 2000 STREETSCAPE IMPROVEMENTS GUIDELINES. PAVEMENT SECTION (I.E. PAVING COURSE AND THICKNESS) WILL BE DESIGNED AND PROVIDED TO MEET MECKLENBURG COUNTY AND TOWN OF MATTHEWS STANDARDS (SEE DETAILS FOR MORE INFORMATION).
 - RETAINING WALLS GREATER THAN 4-FEET (RESIDENTIAL) OR 5-FEET (COMMERCIAL) IN HEIGHT REQUIRES A PERMIT FROM CODE ENFORCEMENT PRIOR TO CONSTRUCTION.
 - CONSTRUCTION OF RETAINING WALLS REQUIRING A PERMIT MAY NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE ACQUIRED.
 - THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
 - DEVELOPER WILL COORDINATE WITH C.A.T.S. FOR THE FINAL LOCATION OF THE BUS STOP AS WELL AS ANY TEMPORARY CLOSURES DURING CONSTRUCTION. DEVELOPER WILL INFORM THE TOWN OF MATTHEWS OF TEMPORARY CLOSURE AT LEAST 48 HOURS IN ADVANCE OF THE CLOSURE.
 - ALL SIGNAGE SHALL BE APPROVED AS A SEPARATE SUBMITTAL.
 - CONTRACTOR SHALL PROVIDE IRRIGATION FOR ALL PLANTINGS EXCEPT THOSE ALONG THE PROJECT'S REAR PROPERTY LINE.
 - OWNER AGREES TO BOND FOR FUTURE STREET EXTENSION. STREET EXTENSION WILL BE CONSTRUCTED ONCE THE ADJACENT SITE DEVELOPS PER THE APPROVED REZONING PLAN. OWNER AGREES TO ALLOW FOR THE CONSTRUCTION OF THE ROAD AND GRANT ANY EASEMENTS NEEDED FOR THE CONSTRUCTION OF THE ROAD.

REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING PLANS AND DIMENSIONS



1318-e6 central ave. # 704.334.3303
charlotte, nc 28205 # 704.334.3305
urban@designpartners.com
nc firmno: P-0418
sc coano: C-03044



6/6/2018
Covenant Pediatrics, PA
Dr. Antonia Emezie
101 East Matthews Street
Suite 800
Matthews, NC 28105

Covenant Pediatrics Site Plan

10806 Monroe Road Matthews, NC 28105
Mecklenburg County

NO.	DATE	BY:	REVISIONS:
1	06/06/18	UDP	PER CITY COMMENTS

Project No: 17-135
Date: 3/18/2018
Designed by: UDP
Drawn By: UDP
Sheet No:

C-3.0



BEFORE YOU DIG!
CALL 811 OR 1-800-832-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

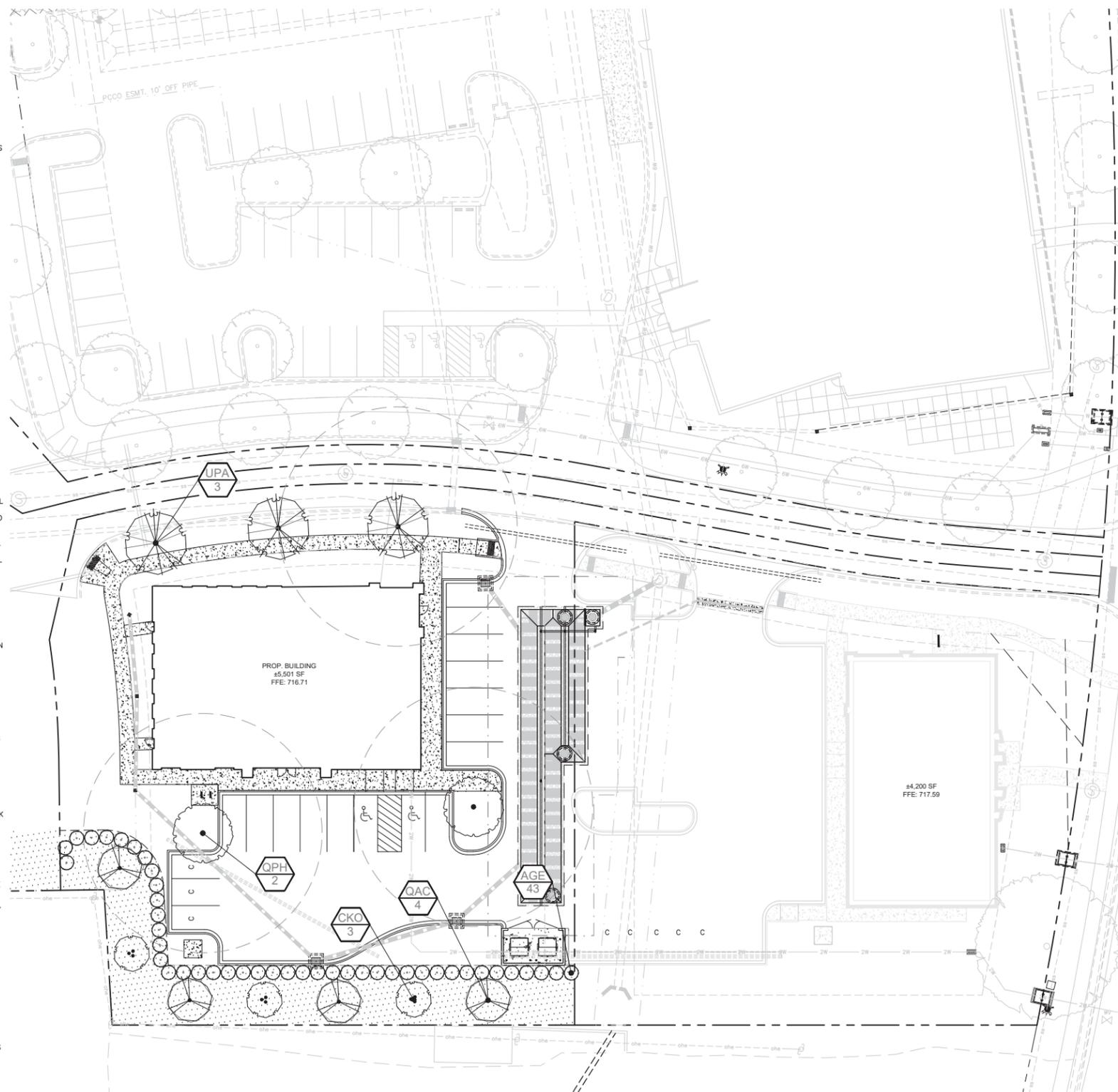
GENERAL PLANTING NOTES

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS ACCORDING TO THE DRAWINGS AND PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE SPECIFIC CULTIVARS AND/OR VARIETIES AS INDICATED ON THE PLANT SCHEDULE. ANY SUBSTITUTIONS INSTALLED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL BE REJECTED AND SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIALS DUE TO ON SITE CONDITIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL ARE SUBJECT TO RELOCATION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL BE SPECIMEN QUALITY AND SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANT MATERIAL SHALL BE FIRST QUALITY STOCK AND SHALL CONFORM TO THE CODE OF STANDARDS SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
- HEIGHT AND SPREAD DIMENSION SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50% OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- SHADE TREES SHALL BE STRAIGHT WITH A DOMINANT LEADER UNLESS OTHERWISE SPECIFIED.
- LEAVES MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCULENCE. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
- PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH SHALL BE LONGLEAF PINESTRAW UNLESS OTHERWISE SPECIFIED. PINESTRAW SHALL BE CLEAN, FRESH, AND FREE OF STICKS, CONES, BRANCHES, OR SOIL.
- BACKFILL PLANTING MIXTURE SHALL BE ONE PART APPROVED PLANTING SOIL MIXED WITH ONE PART NATIVE SOIL FROM THE TREE PIT OR BED AREA. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL TO BE USED TO LANDSCAPE CONTRACTOR FOR APPROVAL PRIOR TO PLANTING.
- PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT AT NURSERY OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES WITH BID SUBMITTAL IF REQUESTED BY LANDSCAPE ARCHITECT OR OWNER.
- THE LANDSCAPE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM ALL PARTS OF THE SITE AND SHALL HAVE THEM TESTED BY THE LOCAL COUNTY AGENT. THE CONTRACTOR SHALL PROVIDE ONE COPY OF THE TEST RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIALS OR MAKING ANY AMENDMENTS TO THE ON SITE SOIL. ANY SOIL AMENDMENTS REQUIRED AS INDICATED BY THE SOIL TEST SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF AMENDMENTS AND OBTAIN A WRITTEN APPROVAL FOR PROPOSED AMENDMENTS.
- FERTILIZER SHALL BE A COMPLETE FERTILIZER; 50% OF NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREA FORM. FERTILIZER SHALL BE DELIVERED TO THE SITE IN STANDARD SIZE UNOPENED CONTAINERS WHICH SHOW THE WEIGHT, CHEMICAL ANALYSIS, AND MANUFACTURER. IT SHALL BE STORED IN A DRY LOCATION UNTIL ITS USE. FERTILIZER FOR TREES, SHRUBS, AND GROUNDCOVER AREAS SHALL BE A SLOW RELEASE TYPE AND SHALL BE APPLIED AS FOLLOWS:

TREES AND SHRUBS		TREES:	1 LB / INCH OF CALIPER
MARCH-MAY	10-10-10	SHRUBS:	½ LB / INCH HEIGHT
JUNE-OCTOBER	6-10-10		
NOVEMBER-FEBRUARY	6-12-12		
- LANDSCAPE CONTRACTOR SHALL PERFORM PERCOLATION TESTS IN ALL TREE PITS. IF PITS DO NOT DRAIN WITHIN 30 MINUTES, CONTACT LANDSCAPE ARCHITECT AND DO NOT PLANT THE TREE WITHOUT ON SITE INSPECTION OF DRAINAGE. LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL SUBSURFACE DRAIN LINES FROM THE TREE PITS.
- IF SURFACE DRAINAGE IS NOT SUFFICIENT (STANDING WATER) NOTIFY LANDSCAPE ARCHITECT IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANTS.
- BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UNDERGROUND OR OVERHEAD UTILITY LINES.
- CERTIFICATE OF INSPECTION AS MAY BE REQUIRED BY LAW FOR TRANSPORTATION OF PLANT MATERIALS SHALL ACCOMPANY EACH INVOICE FOR EACH SHIPMENT OF PLANTS. CERTIFICATES SHALL BE FILED WITH LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE OF MATERIAL. INSPECTION BY STATE OR FEDERAL AUTHORITIES AT THE PLACE OF GROWTH DOES NOT PRECLUDE REJECTION OF THE MATERIAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS AND INSTALLED LANDSCAPE SUPPLIES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THIS PROJECT.
- CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK (i.e. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.).
- THE COMPLETION OF THE CONTRACT WILL BE ACCEPTED AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, OWNER, AND THE OWNER'S CONSTRUCTION REPRESENTATIVE. WITHIN TEN DAYS NOTICE BY THE CONTRACTOR OF SUBSTANTIAL COMPLETION THE LANDSCAPE ARCHITECT WILL INSPECT THE PROPERTY. HE WILL EITHER APPROVE THE WORK FOR THE OWNER'S ACCEPTANCE OR WILL ISSUE A "PUNCH LIST" OF ITEMS TO BE COMPLETED OR CORRECTED. IF A PUNCH LIST IS ISSUED, FINAL ACCEPTANCE WILL BE DONE AS SOON AS THE CONTRACTOR COMPLETES ALL PUNCH LIST ITEMS.
- IRRIGATION PLANS SHALL BE PROVIDED BY CONTRACTOR TO THE TOWN PRIOR TO INSTALLATION OF ANY LANDSCAPING.
- LANDSCAPE ESTABLISHMENT GUARANTEE: PROPER MAINTENANCE OF THE PLANTED AND PRESERVED TREES AND SHRUBS DURING THE LANDSCAPE ESTABLISHMENT PERIOD SHALL BE GUARANTEED BY A LANDSCAPE ESTABLISHMENT GUARANTEE FROM THE PROPERTY OWNER TO THE TOWN. THE BOND AMOUNT SHALL BE EQUAL TO THE VALUE OF THE NEW TREES, PLUS THE LESSER OF \$20,000 FOR THE PRESERVED TREES, OR THE ACTUAL VALUE OF PRESERVED TREES AS CALCULATED IN ACCORDANCE WITH THE GUIDE FOR PLANT APPRAISAL PUBLISHED BY THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS (CURRENT EDITION). THE BONDING PERIOD SHALL BE FOR A THREE (3) YEAR PERIOD COMMENCING FROM THE DATE OF SUCCESSFUL INSPECTION OF THE INSTALLATION AND PRESERVATION AS BEING IN COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN FOR THE SITE.
- IF A PROTECTED TREE IS DESTROYED OR DIES WITHIN THREE (3) YEARS AFTER COMPLETION OF CONSTRUCTION, THEN REPLACEMENT TREES OF TOTAL EQUAL DIAMETER SHALL BE PLANTED ON THE SITE. TREE DESTRUCTION OR DEATH DURING THE THREE (3) YEAR PERIOD SHALL BE ASSUMED TO BE THE RESULT OF THE LAND DISTURBING ACTIVITY UNLESS THE TREE DESTRUCTION IS EASILY VERIFIED AS DUE TO A CASUALTY LOSS OF NATURE (STORM, LIGHTNING STRIKE, AND THE LIKE), OR THE PROPERTY OWNER PROVIDES DOCUMENTATION FROM A CERTIFIED ARBORIST OF AN ALTERNATE EXPLANATION FOR THE TREE'S DEATH.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	REMARKS	
	CKO	3	CORNUS KOUSA / KOUSA DOGWOOD	B & B	2" CAL	10'-12' H	MATCHED	
	QAC	4	QUERCUS ACUTISSIMA / SAWTOOTH OAK	B & B	3" CAL	8'-10' H	SPECIMEN	
	QPH	2	QUERCUS PHELLOS / WILLOW OAK	B & B	3" CAL	12'-18' H	SPECIMEN	
	UPA	3	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3" CAL	8'-10' HT	SPECIMEN	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	MIN HEIGHT	MIN WIDTH	SPACING	REMARKS
	AGE	43	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA	3 GAL	24"	24"	+/- 5' OC	FULL



Landscape Requirements

PERIMETER LANDSCAPING 153,075:
 ONE TREE AND 10 SHRUBS REQUIRED FOR EACH 50 LF OF BOUNDARY NOT FACING PUBLIC R.O.W.
 SOUTH PROPERTY LINE: 155 LF
 215'/50 (1) = 4.30 = 4 TREES REQ'D
 4 PROP. LARGE MATURING TREES
 215'/50 (10) = 43 SHRUBS REQ'D
 43 PROP. SHRUBS

INTERIOR LANDSCAPING 153,075(h) (FOR PHASE 1 PARCEL ONLY):
 ALL PARKING SPACES SHALL BE LOCATED WITHIN 40' OF A TREE.
 ONE TREE REQUIRED FOR EVERY 10 PARKING SPACE PROVIDED.
 18 PKG SPACES / 10 = 1.80 = 2 TREES REQUIRED
 2 PROP. LARGE MATURING TREES PROVIDED

SCREENING 153,075(i):
 SCREENING REQUIRED ALONG ALL SIDE AND REAR PROPERTY BOUNDARIES ABUTTING AN EXISTING RESIDENTIAL USE OR RESIDENTIALLY ZONED PROPERTY.
 LOADING AREA, SERVICE AREA, OR OUTDOOR STORAGE AREA MUST BE SCREENED FROM PUBLIC R.O.W.

POST CONSTRUCTION UNDISTURBED OPEN SPACE TREES:
 10% OF SITE AREA MUST BE RESERVED AS NATURAL AREA AND REPLANTED AT THE RATE OF 36 TREES PER ACRE.
 SITE AREA = 30,928 SF (0.71 AC) x 10%
 = 3,093 SF (0.07 AC) MIN.
 4,160 SF PROVIDED
 0.07 AC x 36 TREES/AC = 2.52 = 3 TREES REQ'D
 3 PROP. SMALL MATURING TREES PROVIDED



URBAN DESIGN PARTNERS

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 charlotte, nc 28205 # 704.334.3305
 urbananddesignpartners.com
 nc firm no: P-0418
 sc coa no: C-03044

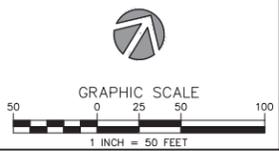
3/18/2018
 Covenant Pediatrics, PA
 Dr. Antonia Emezie
 101 East Matthews Street
 Suite 800
 Matthews, NC 28105

**Covenant Pediatrics
 Landscape Plan**

10806 Monroe Road Matthews, NC 28105
 Mecklenburg County

NO.	DATE	BY	REVISIONS:

Project No: 17-135
 Date: 3/18/2018
 Designed by: UDP
 Drawn By: UDP
 Sheet No:



LS-1.0



01 ELEVATION: Front
1/4" = 1'-0"

COVENANT PEDIATRICS

ELEVATIONS
Schematic

- Approved
- Revise as noted





ARCHITECTURAL GROUP

704 841.1899 int 1242 Mann Drive Suite 200
841.8440 fax Matthews, North Carolina 28105
www.UrbanAIA.com

Seals:

EXTERIOR FINISH SCHEDULE				
PAINT & DECORATIVE ITEMS				
PAINT NO.	MATERIAL	COLOR NAME	COLOR NO.	MANUFACTURER
P-1 (Field)	Paint	X	X	Sherwin Williams
P-2 (Trim)	Paint	X	X	Sherwin Williams
X	X	X	X	X

MASONRY				
MASONRY NO.	MATERIAL	COLOR NAME	PRODUCT	MANUFACTURER
M-1 (Field)	X	X	X	X
M-2 (Accent)	X	X	X	X

CONSTRUCTION:
Brick masonry pattern is a common running bond U.N.O.
Provide block w/ water-repellent integral admixture.

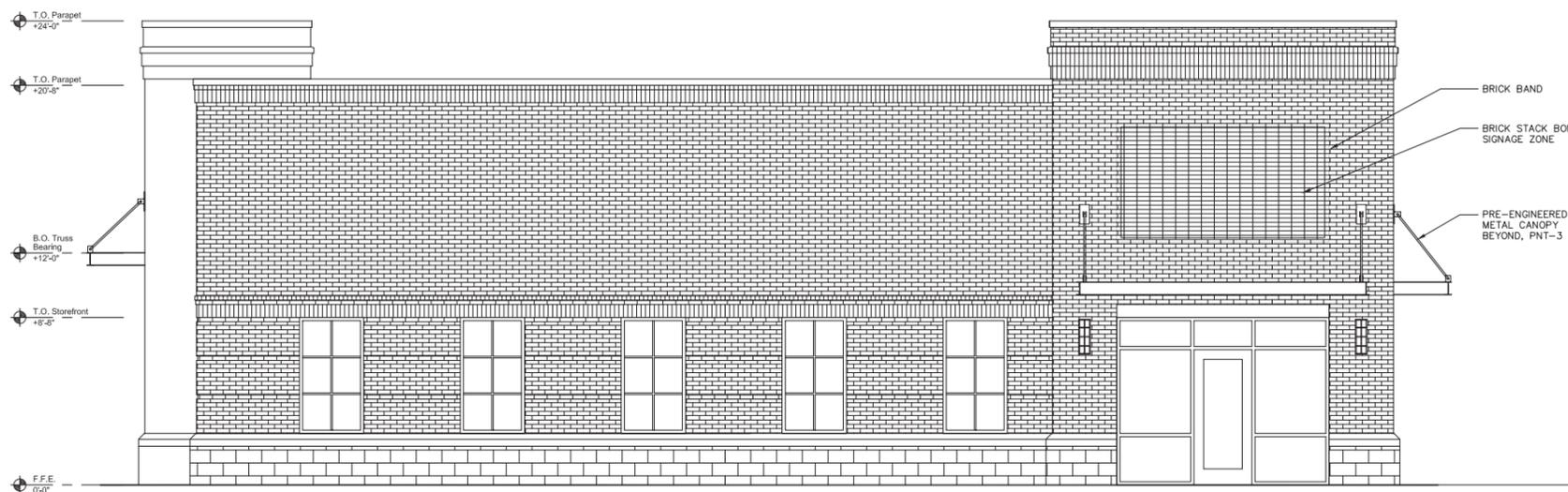
SUBMITTALS:
Submit 5 samples of each type of exposed brick required. Include in each set the full range of color and texture to be expected in the completed work. Architect review will be for color and texture only. Compliance with all other requirements is the exclusive responsibility of the Contractor.

NOTES

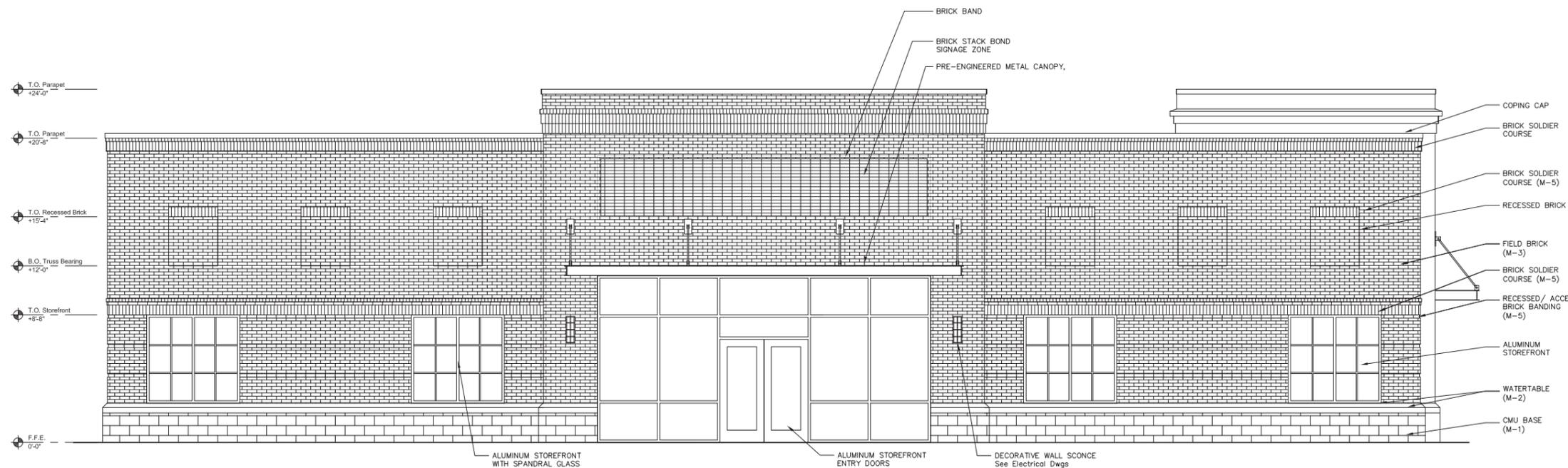
- ALL CUTTERS & DOWNSPOUTS TO BE SEAMLESS PRE-FINISHED DARK BRONZE.
- ALL METAL COPING CAPS TO BE PRE-FINISHED DARK BRONZE.
- PROVIDE 12" x 12" SAMPLE OF EACH COLOR. ALL COLORS TO BE APPROVED BEFORE APPLICATION. SUBSTITUTIONS CAN BE MADE WITH OWNER/ARCHITECT'S APPROVAL.

MOCK-UP PANELS:
Erect two sample wall panels at project site. Build panels 4'-0" long and 4'-0" high. General Contractor to fabricate for inspection full scale assemblies, depicting framing, structural connections, transition connections, flashing, and finishes prior to commencement of construction. If masonry is used for the project, panels shall be the standard of construction of all masonry and shall show proposed material, method of laying, workmanship, installation of reinforcing, and color of mortar. General Contractor shall be responsible for maintaining sample panels throughout the construction period and the removal of panels after the job is completed.

PRODUCT HANDLING:
Store materials under cover, in dry place, and in manner to prevent damage or intrusion of foreign matter.



02 ELEVATION: Right Side (Suite B Entry, Parking Lot Side)
1/4" = 1'-0"



01 ELEVATION: Front (Suite A Entry, Parking Lot Side)
1/4" = 1'-0"

(xx = 1'-0" when 11x17)

COVENANT PEDIATRICS
New Construction

X
Matthews, NC 28105

Date:	May 18, 2018
Project Number:	2018-13
Issued For:	
Construction Only:	xx.xx.18

EXTERIOR ELEVATIONS

A2.1

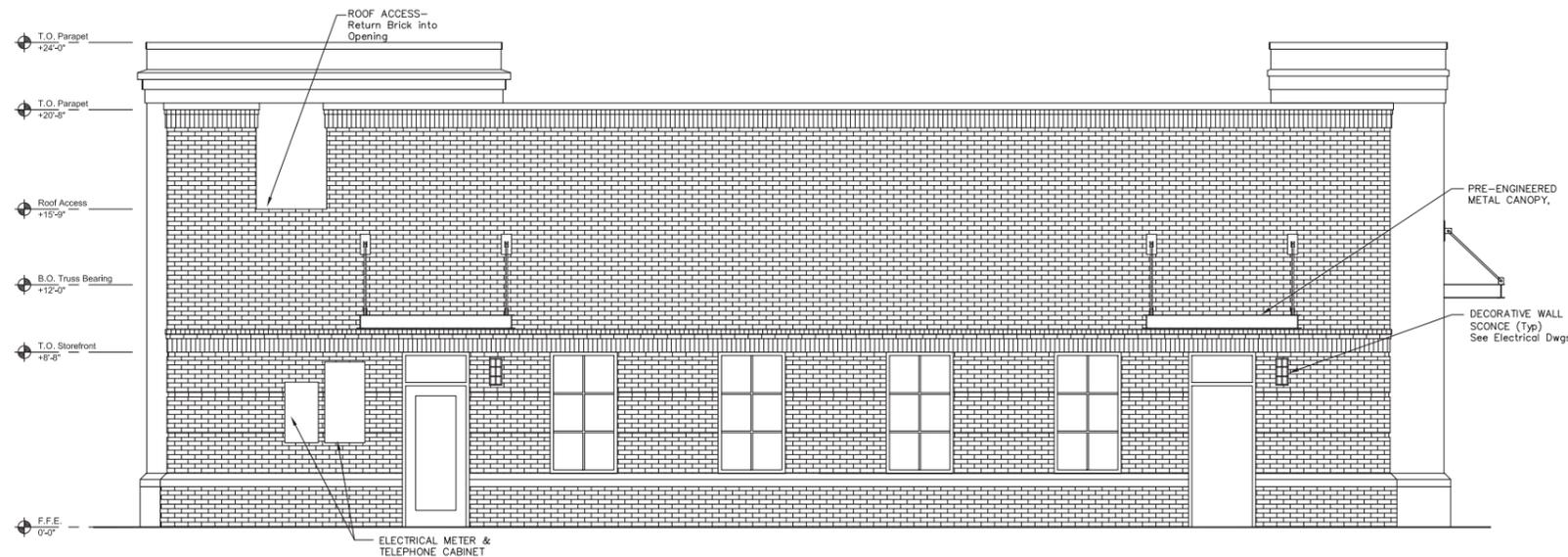
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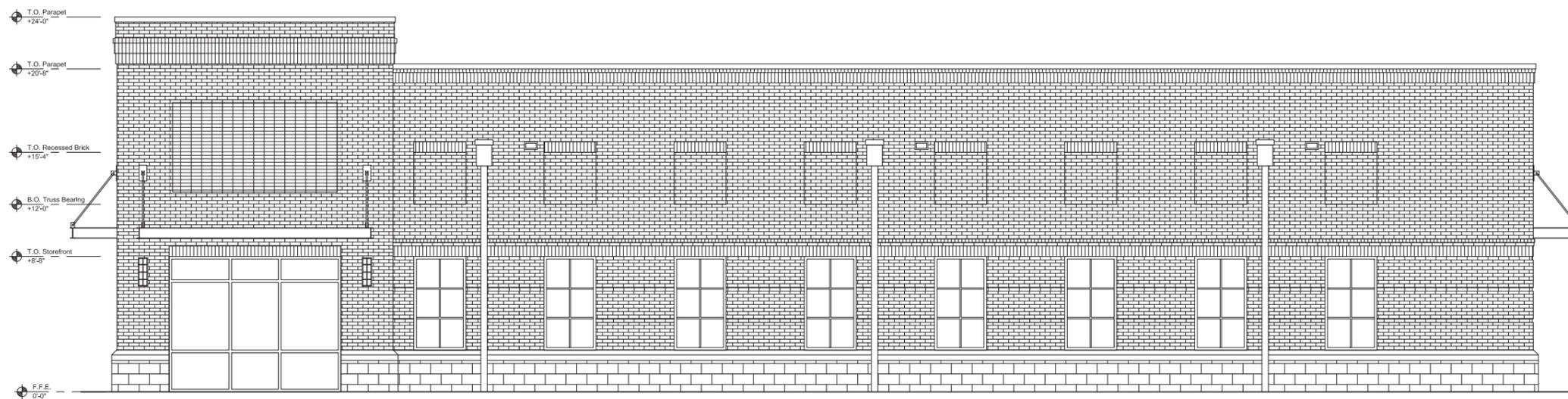
ARCHITECTURAL GROUP

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Seals:



02 ELEVATION: Left Side
 1/4" = 1'-0"



01 ELEVATION: Rear (Road Side)
 1/4" = 1'-0"

(xx" = 1'-0" when 11x17)

**COVENANT
 PEDIATRICS**
 New Construction

X
 Matthews, NC 28105

Date:	May 18, 2018
Project Number:	2018-13
Issued For:	
Construction Only:	xx.xx.18

EXTERIOR ELEVATIONS

A2.2

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