

## **Public Improvement Variances – Jefferson Street**

**DATE: August 18, 2017**

**FROM: Jay Camp**

A developer has purchased 6 vacant lots at the end of Jefferson Street and plans to construction new homes on each parcel. The site is located directly across from the Outen Pottery, now a local historic landmark. Although Jefferson Street is Town right-of-way, pavement stops in front of the first lot. Three Public Improvement Variances are proposed.

### ***Limited Local Street Over 500' in Length – Section 155.701.A.4.a***

The maximum street length for a street where the developer is proposing to use the Limited Local Street cross section is 500'. The total length of the street to the dead end that backs up to Carrington Place is approximately 559'.

### ***Sidewalk, Curb and Gutter - 155.707.B.1***

The entire neighborhood is currently without sidewalks, curb and gutter with the exception of sidewalk located on Main Street and a small portion on Ames Street connecting the Avington neighborhood.

### ***Street Cross Section 155.707.A.7***

The local limited cross section specifies the following:

9' travel lanes, 2.5' curb and gutter, 4' planting strip and 5' sidewalk

The proposed modified cross section would create a larger pavement width (20' instead of 18") and eliminate all other improvements.

### **Proposed Solution**

As a whole, the 3 Public Improvement Variances make sense and are supported by both Planning and Public Works. The Fire Department has indicated that the rotated hammerhead is an acceptable turnaround for fire trucks. If the developer were to construct the typical cross section, more trees would be removed and the improvements would come extremely close to the Outen Pottery kiln. The road plan as presented skews the pavement away from the Outen site and preserves 20' to 25' of trees that would need to be removed if pavement, curb, gutter, sidewalks and planting strips were installed. A few feet of the turnaround at the end encroaches onto the Outen site and would need approval of the Town Board.

### **Related Town Goal(s) and/or Strategies:**

Quality of Life

Economic Development/Land Use Planning

### **Recommended Motion/Action:**

Recommend approval of 3 Public Improvement Variances

8/7/17

**Matthews City Council**

232 Matthews Station Street  
Matthews, NC 28105

RE: Jefferson Street Variance Request

To whom it may concern:

I am writing to ask for some Public Improvement Variances in hopes that it benefits all parties involved. The variances included are:

Limited Local Street over 500ft - Section 155.701.A.4.a

Sidewalk, Curb and Gutter - Section 155.707.B.1

Street Cross Section - 155.707.A.7 (Removing curb/gutter and change from 9 to 10 ft. travel lanes).

These variances are required for us to upfit the Jefferson Street project. But, this will also help preserve the appearance of the Outen Mill property. Approving these variances will also raise the property values and taxes almost 10 times when this development is complete. Without this development, the back of the Outen Mill property's appearance will remain overgrown. Cleaning up the property and bringing in the infrastructure will help the appearance and value of our Jefferson Street project, Outen Mill property and all surrounding properties. This street is a dead end street and the functionality is most important for Outen Mill's appearance and the city generating up to 10 times the tax dollars than previous years. Overall, this variance is beneficial to all parties involved and there is no reason to not allow these variances.

Over the last few years I have purchased property in and around Matthews. Since then we have grown to love Matthews and relocated to Jefferson Street. We plan on building our dream home in this project. So, preserving the integrity of the city's land and Outen Mill is of the utmost importance. Doing anything to bring down the appearance or value of Outen Mill would be to do the same to my family's properties.

We believe the best way to accomplish this is a rotated hammerhead with the turn around portion facing the Outen Mill property. In return pulling the street over to the edge of the right away on Jefferson Street Project side. Finishing off the project and keeping it conforming with the rest of the neighborhood - without using curbs, gutters or sidewalks. This is the best way we see minimizing any disturbance of the Town property. We plan on building high end homes, helping the appearance of the Outen Mill and surrounding properties while drastically increasing property values and city tax revenues. I have included pictures, along with engineered street renderings. Thank you for consideration and I look forward to speaking with you!

Sincerely,

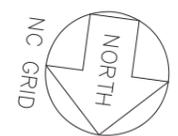
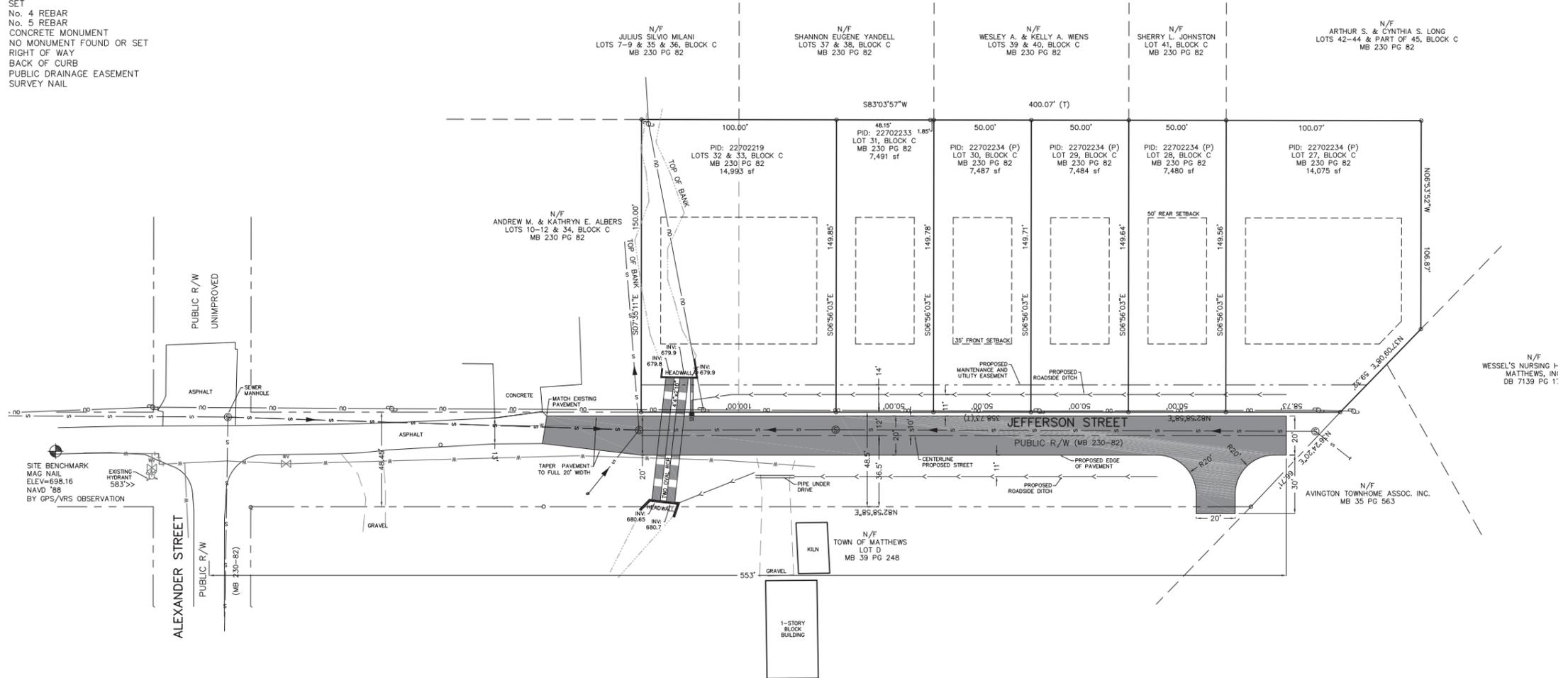


**Shawn Kirkley**

Kirkley Ent.

**LEGEND**

O	PROPERTY CORNER
(F)	FOUND
(S)	SET
#4b	No. 4 REBAR
#5b	No. 5 REBAR
CM	CONCRETE MONUMENT
NMFS	NO MONUMENT FOUND OR SET
R/W	RIGHT OF WAY
b/c	BACK OF CURB
P.D.E.	PUBLIC DRAINAGE EASEMENT
MAG	SURVEY NAIL



1 inch = 30 ft.

**DRAWING ISSUE & REVISION STATUS**

ISSUE DATE	BY	DESCRIPTION
07.20.2017	CHH	FIRST ISSUE



08.07.17

**Lucas-Forman Incorporated**  
Land Surveying  
Planning & Engineering

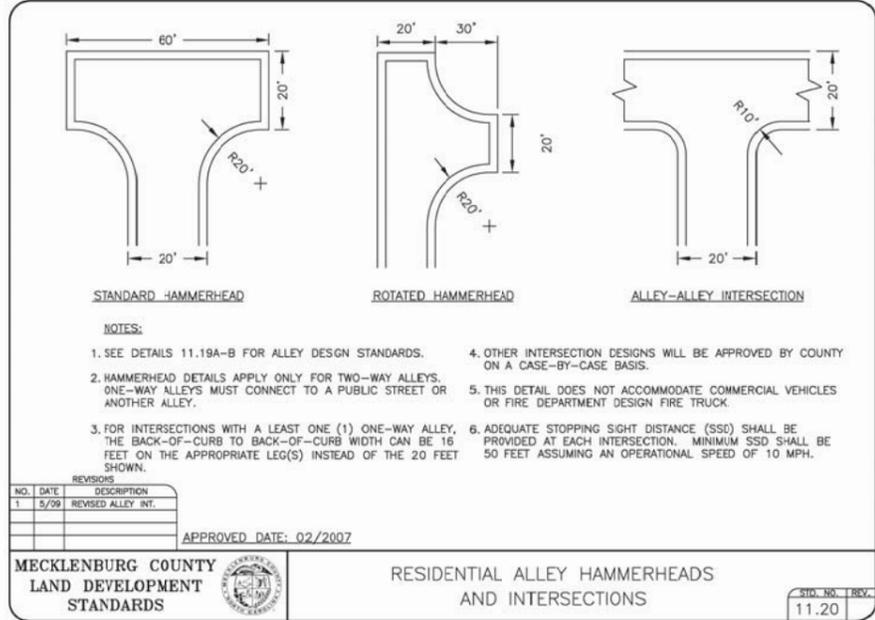
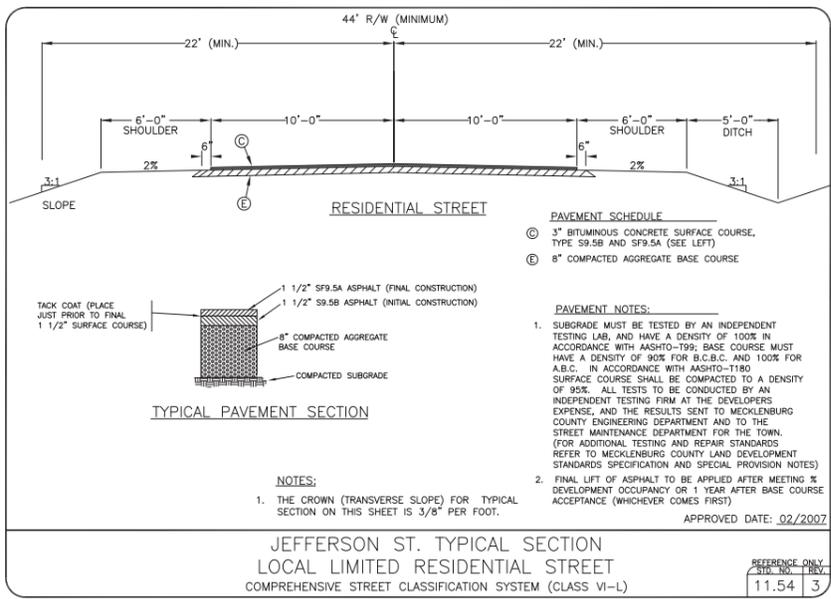
4000 Stuart Andrew Boulevard  
Charlotte, North Carolina 28217  
P.O. Box 11386 28220-1386  
(704) 527-6626 Fax 527-9640  
email: postmaster@lucas-forman.com



**JEFFERSON STREET IMPROVEMENTS**  
TOWN OF MATTHEWS, MECKLENBURG COUNTY, N.C.

**PRELIMINARY SITE PLAN**

SURVEYED BY	DESIGNED BY	DRAWN BY
DBG	CHH	CHH
JOB NUMBER	DATE	SHEET NUMBER
17056	08.01.17	C03.0
FILE NUMBER	DWG FILE NAME	
689	17056SITE3	



**NOTES:**

ADDRESS: SIX LOTS ON JEFFERSON ST, MATTHEWS NC (SOME PARCELS HAVE NOT BEEN ASSIGNED AN ADDRESS)

TAX PARCELS: 22702219, 22702233, 22702234, 22702235, 22702236, 22702237.

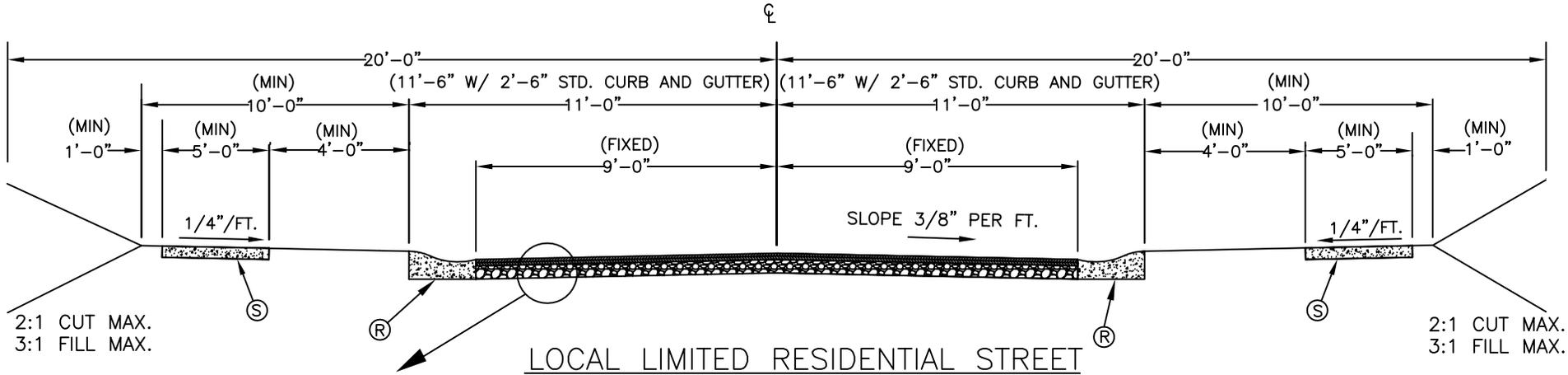
GROSS AREA: 1.35 AC

ZONING: R-12

R-12 DEVELOPMENT STANDARDS:  
MIN WIDTH: 70'  
MIN SETBACK: 35'  
MIN REAR YARD: 50'  
MIN SIDE YARD: 10'  
MIN AREA: 12000 SF

EXISTING LOTS AND R/W SHOWN WERE PLATTED IN 1910 AS MAP BOOK 230 PAGE 82, PRIOR TO ADOPTION OF THE ZONING ORDINANCE.

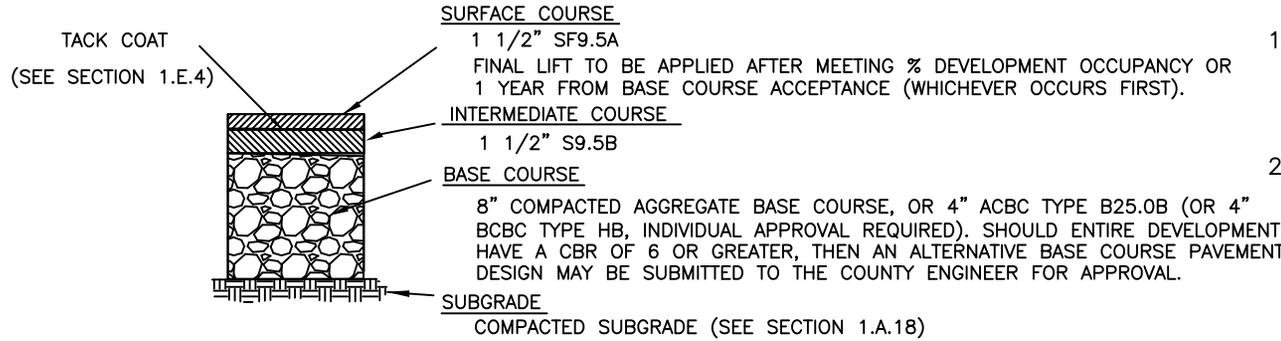
40' R/W (MINIMUM)



**LOCAL LIMITED RESIDENTIAL STREET**

**NOTES:**

1. STREETS ACCESSING LESS THAN TEN (10) LOTS OR LESS THAN 250 FEET IN LENGTH, SIDEWALK WILL ONLY BE REQUIRED ON ONE SIDE OF STREET AND NOT ALONG CUL-DE-SAC "BULB".
2. SIDEWALK EASEMENT MAY BE REQUIRED.



**KEY**

- (R) 2'-0" VALLEY GUTTER, 2'-0" STD. CURB AND GUTTER OR 2'-6" STD. CURB AND GUTTER.
- (S) 4" CONCRETE SIDEWALK

**REVISIONS**

NO.	DATE	DESCRIPTION
1	5/09	REVISED PVMT. SECT.
2	11/16	REVISED SURFACE COURSE AMOUNT

APPROVED DATE: 02/2007

NOT TO SCALE

	ELEVATION CHANGE AT CENTER LINE REFERENCED FROM TOP OF CURB	
	FOR STONEBASE	FOR ASPHALT
SUBGRADE	-10-5/8"	-6-5/8"
BASE COURSE	-2-5/8"	
INTERMEDIATE COURSE	-1-1/8"	

**MECKLENBURG COUNTY  
LAND DEVELOPMENT  
STANDARDS**



**LOCAL LIMITED RESIDENTIAL STREET  
TYPICAL SECTION**  
COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI-L)

STD. NO.	REV.
11.04	2



1805 Baxter Street  
Cherry







511





135





1805 Baxter Street  
Cherry

