



Matthews United Methodist Church

801 South Trade Street

Matthews, NC 28105

April 27, 2020

Dear Town of Matthews Planning Board,

Thank you for your valuable time in allowing me to present our dream ministry of a Memorial Garden/ Columbarium for Matthews United Methodist Church. Please let me introduce myself. I am Mary Ayers and a member of Matthews United Methodist Church. I am longingly waiting to place my deceased husband in his final resting place in the proposed memorial garden.

As you may know, there are many churches in the Matthews/Charlotte area who already have memorial gardens/ columbariums on their campuses for several years. Also, as stated by the National Funeral Directors Association, cremation accounts for 50% of services in 2016 and they estimate that in the year 2020 the figure will be 55%, and increase to 70% by 2030. Because of these reasons, we hope to have this ministry for our church members.

Our dream began about three years ago when David Bigham and I went to the Trustees of our church with our idea and dream. They were very excited and wishful for this to happen. A committee was formed and we have diligently worked and researched the very best location, the correct size, the most beautiful landscaping, the correct lighting and water source for this project. Thankfully we have had knowledgeable people willing to help and advise us along the way. All plans have been presented to, discussed with, and reviewed many times and unanimously voted on by the Matthews United Methodist Church's Board of Trustees, the Administrative Council, and our Senior Pastor Charles Wilson. We have 51 families in the church who have signed letters of intent expressing a desire for niches and/ or memorials as well as financial support. At this time, we have enough commitments from these families to underwrite this ministry.

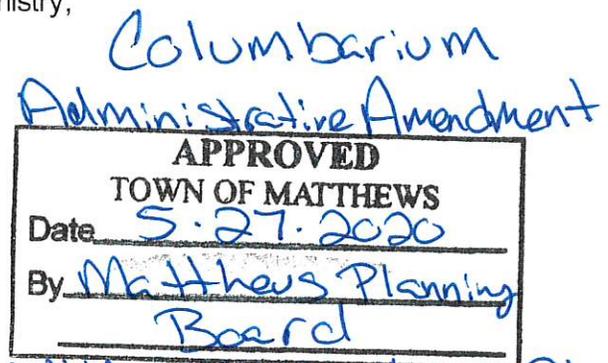
I have included several pictures and diagrams to share our plan and visions. I will, along with David Bigham, gladly answer any questions you may have.

Thank you for your thoughtful consideration to our ministry,

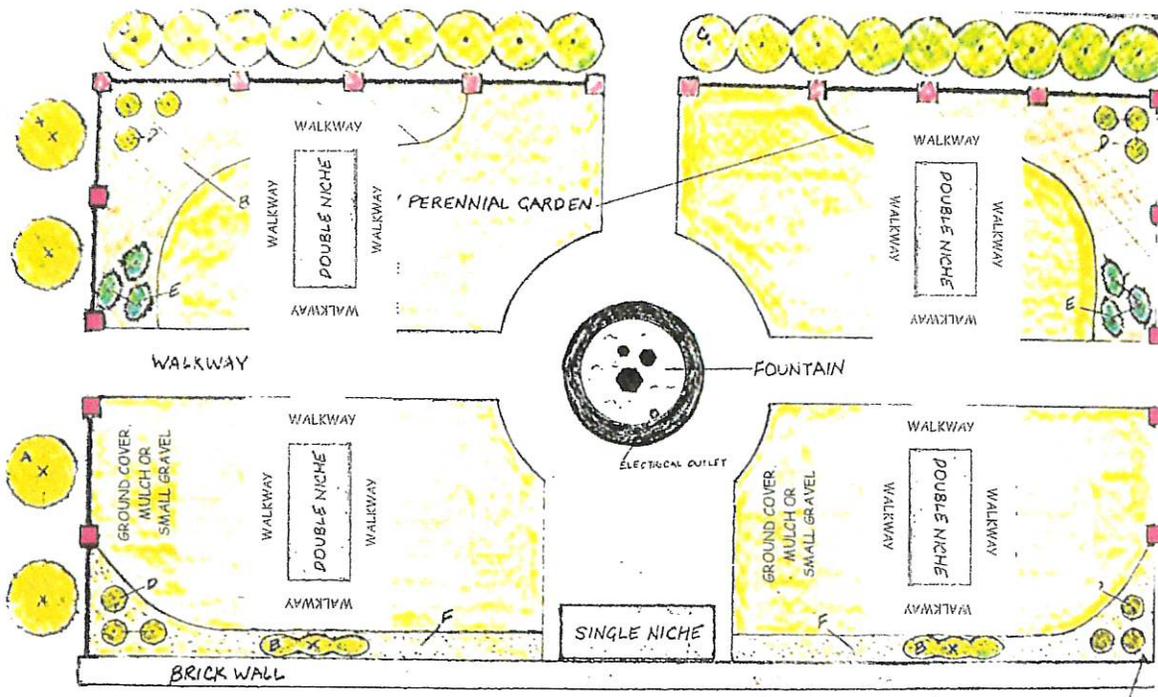
Mary E. Ayers

Mary E Ayers

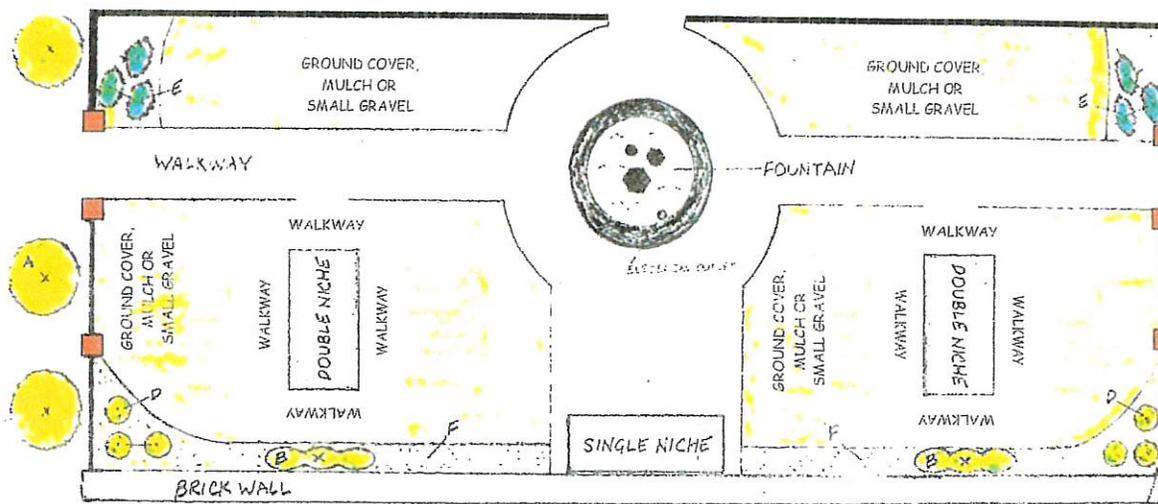
c. 704-661-3860



With attached Site Plan and images

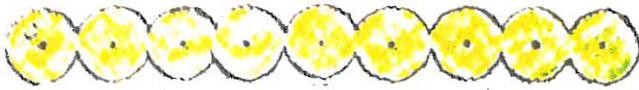


Full Layout (Future Expansion)

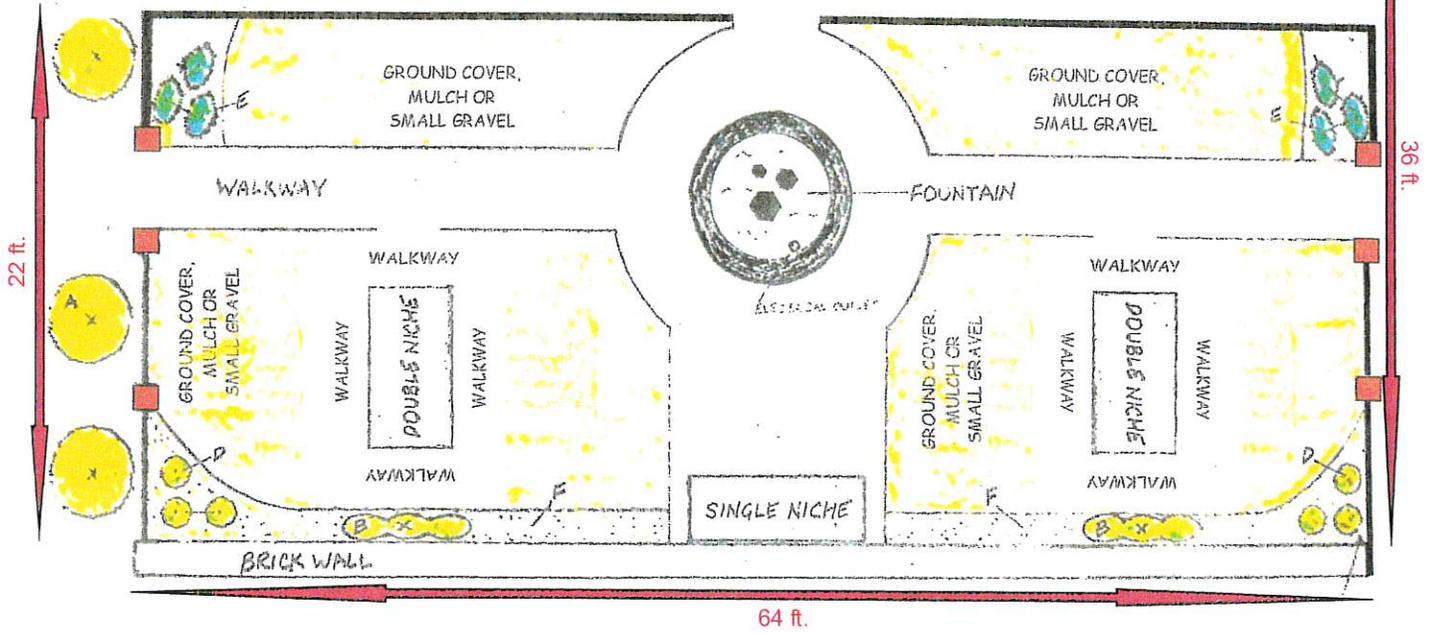


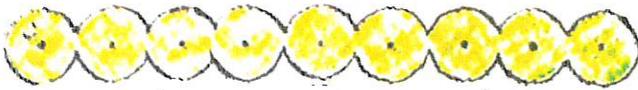
Reduced Layout (Initial Construction)

The initial construction will have one double niche unit (shown on the left in the picture above) and one single niche unit in the middle of the brick wall. A second double niche will be added on the right side as soon as funds permit.



Future Expansion Space



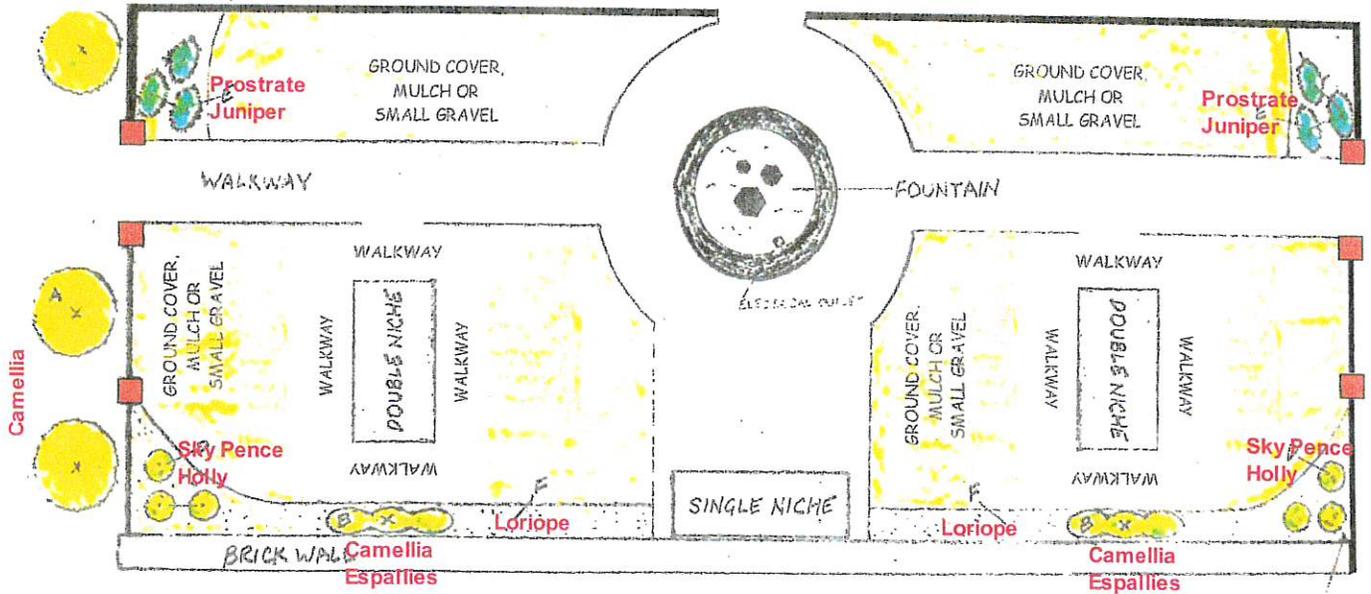


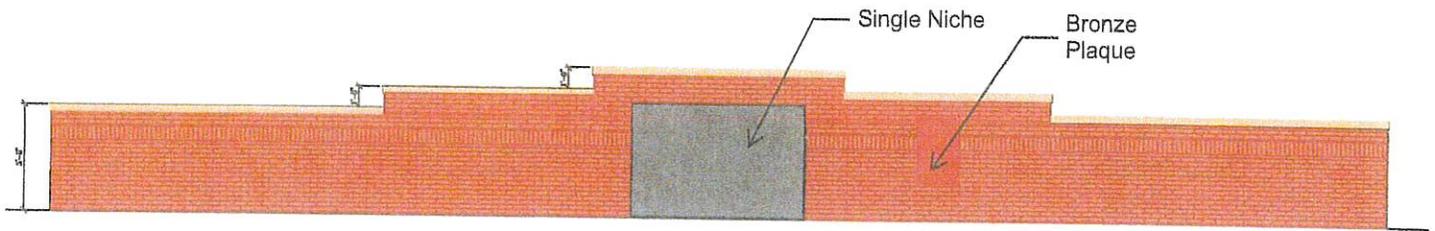
Korean Boxwood



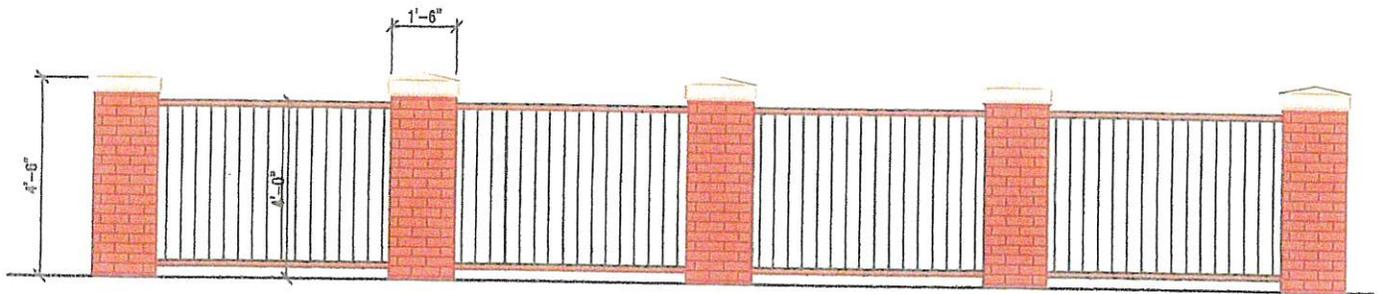
Korean Boxwood

Future Expansion Space





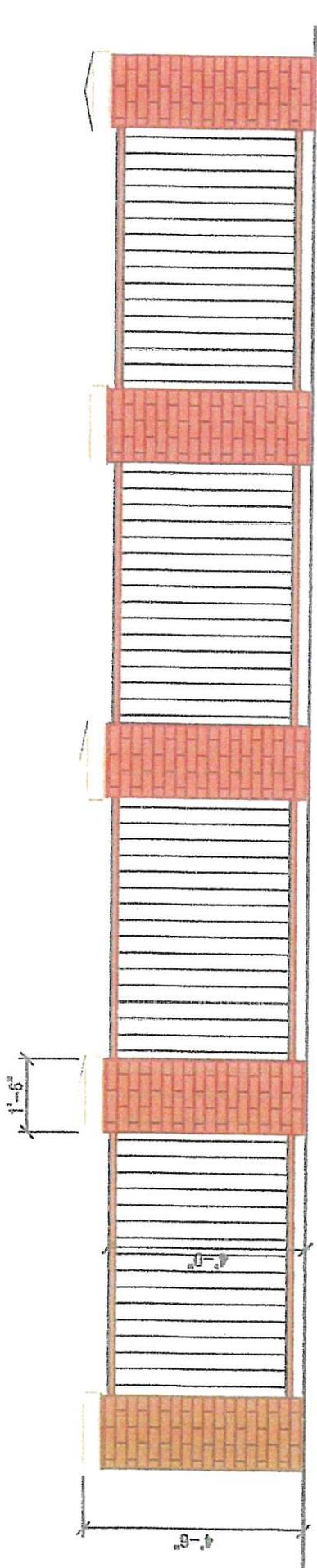
Brick Wall (64 ft. long; 7 ft. high in middle; 5 ft. high on ends)



Fence (54" tall brick columns with 48" metal fence panels)

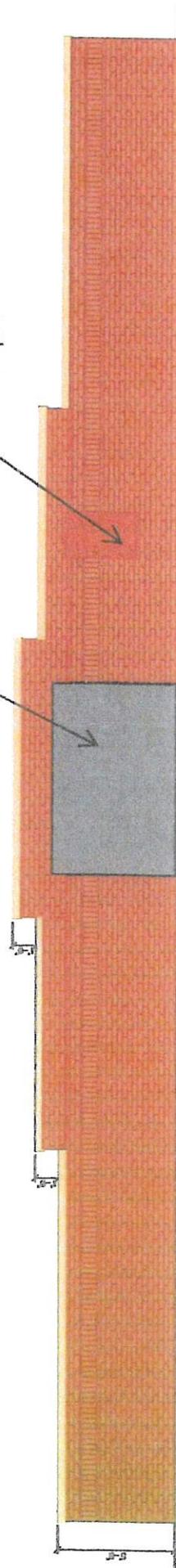


For the reduced layout, the fence along the east side of the garden will not have brick columns. When the garden is expanded, the new fence will have the brick columns and metal fence panels.

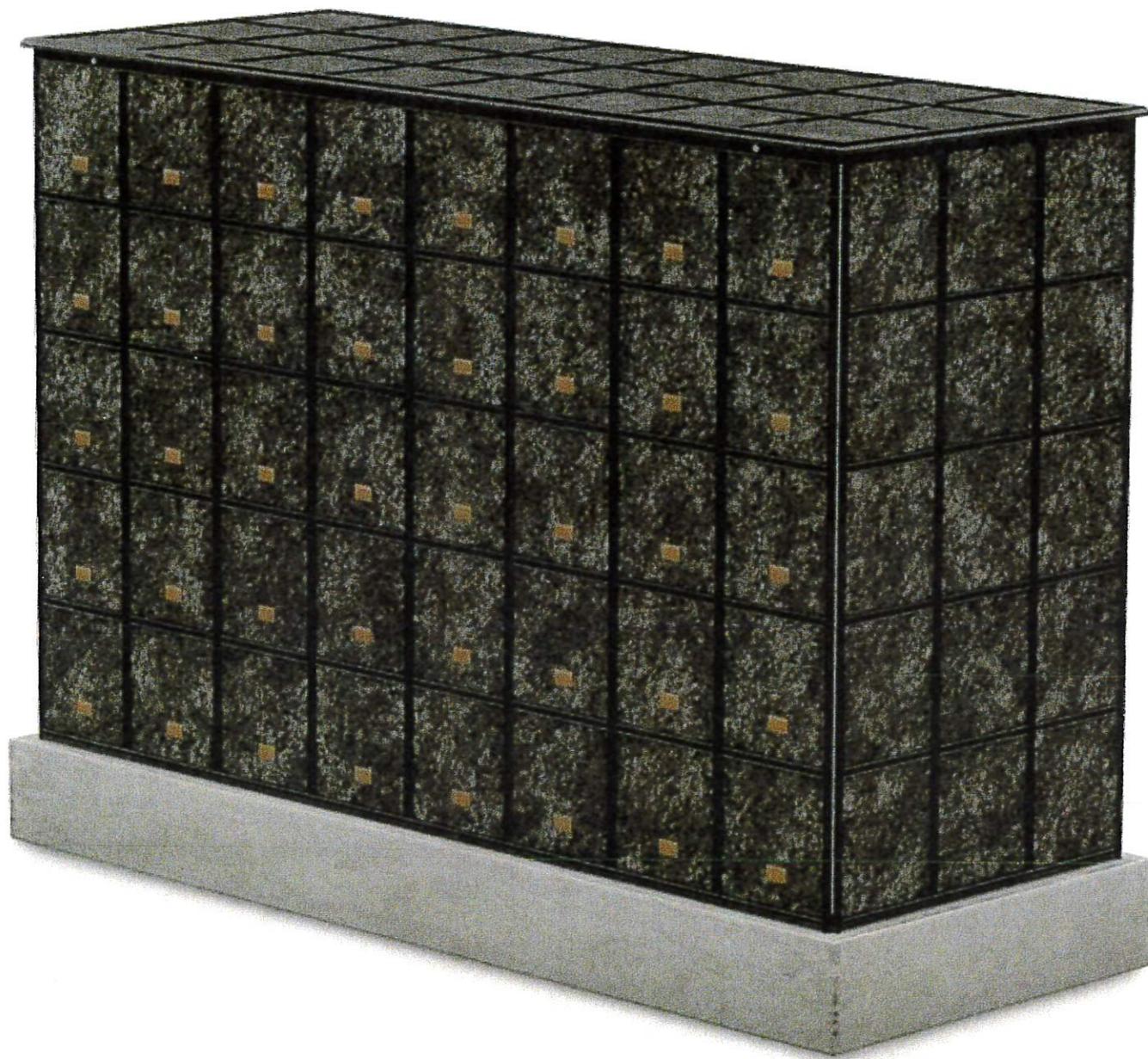


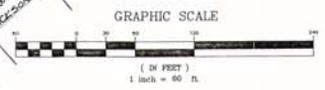
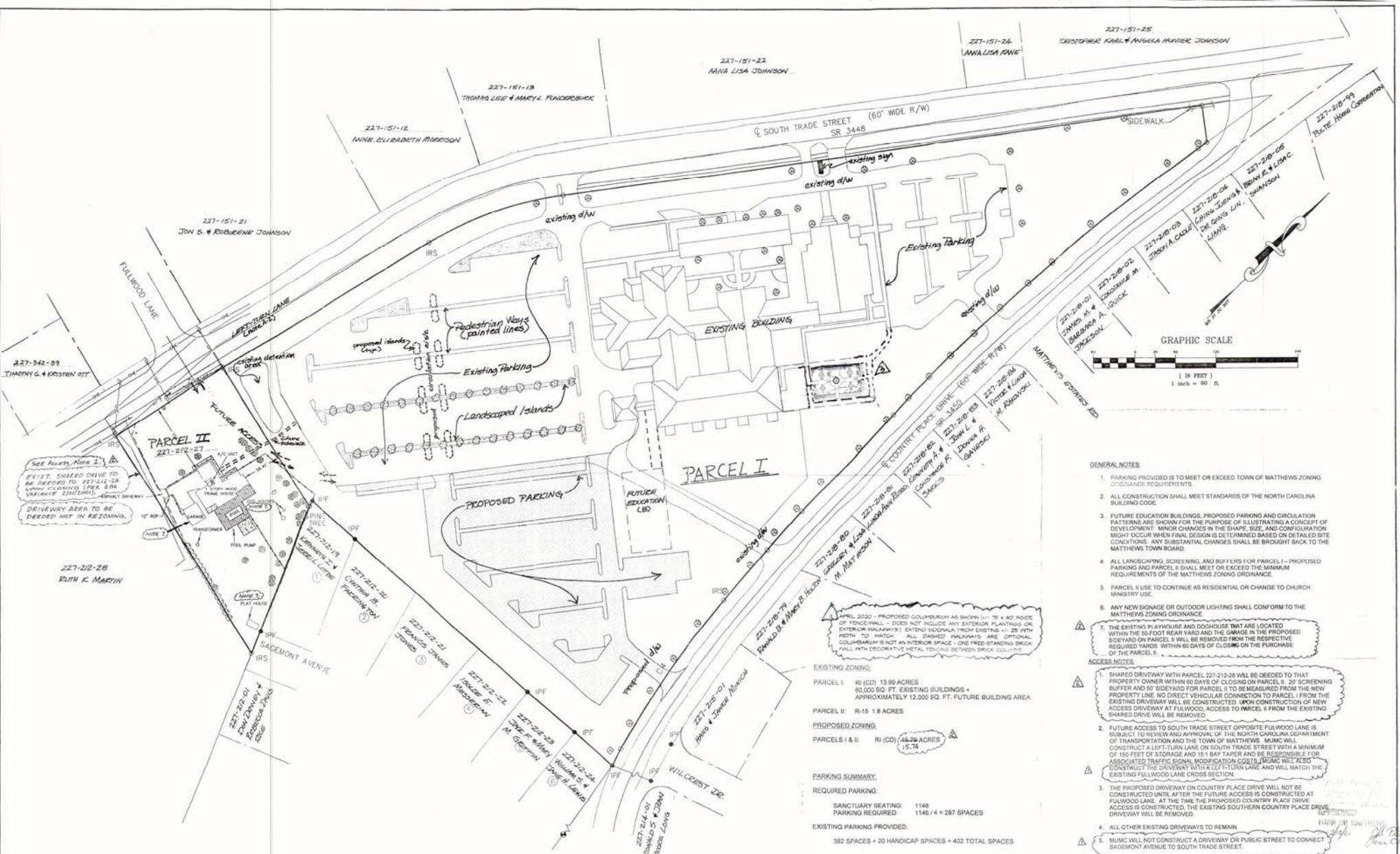
Bronze
Plaque

Single Niche



Double Niche 100-1/4" L x 64-3/4" H x 39" D





- GENERAL NOTES
1. PARKING PROVIDED IS TO MEET OR EXCEED TOWN OF MATTHEWS ZONING CIRCULARIZATION REQUIREMENTS
 2. ALL CONSTRUCTION SHALL MEET STANDARDS OF THE NORTH CAROLINA BUILDING CODE
 3. FUTURE EDUCATION BUILDINGS, PROPOSED PARKING AND CIRCULATION PATTERNS ARE SHOWN FOR THE PURPOSE OF ILLUSTRATING A CONCEPT OF DEVELOPMENT. MINOR CHANGES IN THE SHAPE, SIZE, AND CONFIGURATION MIGHT OCCUR WHEN FINAL DESIGN IS DETERMINED BASED ON DETAILED SITE CONDITIONS. ANY SUBSTANTIAL CHANGES SHALL BE BROUGHT BACK TO THE MATTHEWS TOWN BOARD.
 4. ALL LANDSCAPING, SCREENING, AND BUFFERS FOR PARCEL I - PROPOSED PARKING AND PARCEL II SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE MATTHEWS ZONING ORDINANCE.
 5. PARCEL II USE TO CONTINUE AS RESIDENTIAL OR CHANGE TO CHURCH MINISTRY USE.
 6. ANY NEW SIGNAGE OR OUTDOOR LIGHTING SHALL CONFORM TO THE MATTHEWS ZONING ORDINANCE.
7. THE EXISTING PLAYHOUSE AND DOORHOUSE THAT ARE LOCATED WITHIN THE 50-FOOT REAR YARD AND THE GARAGE IN THE PROPOSED SIDEYARD ON PARCEL II WILL BE REMOVED FROM THE RESPECTIVE REQUIRED YARDS WITHIN 60 DAYS OF CLOSING ON THE PURCHASE OF THE PARCEL II.

- ACCESS NOTES
1. SHARED DRIVEWAY WITH PARCEL 227-212-28 WILL BE DEEDED TO THAT PROPERTY OWNER WITHIN 60 DAYS OF CLOSING ON PARCEL II. 20' SCREENING BUFFER AND 60' SIDEYARD FOR PARCEL II TO BE MEASURED FROM THE NEW PROPERTY LINE. NO DIRECT VEHICULAR CONNECTION TO PARCEL I FROM THE EXISTING DRIVEWAY WILL BE CONSTRUCTED. UPON CONSTRUCTION OF NEW ACCESS DRIVEWAY AT FULLWOOD, ACCESS TO PARCEL II FROM THE EXISTING SHARED DRIVEWAY WILL BE REMOVED.
 2. FUTURE ACCESS TO SOUTH TRADE STREET OPPOSITE FULLWOOD LANE IS SUBJECT TO REVIEW AND APPROVAL OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE TOWN OF MATTHEWS. MUMC WILL CONSTRUCT A LEFT TURN LANE ON SOUTH TRADE STREET WITH A MINIMUM OF 150 FEET OF STORAGE AND 15' BAY TAPER AND BE RESPONSIBLE FOR ASSOCIATED TRAFFIC SIGNAL MODIFICATION COSTS. TRUCK WILL ALSO CONSTRUCT THE DRIVEWAY WITH A LEFT TURN LANE AND WILL MATCH THE EXISTING FULLWOOD LANE CROSS SECTION.
 3. THE PROPOSED DRIVEWAY ON COUNTRY PLACE DRIVE WILL NOT BE CONSTRUCTED UNTIL AFTER THE FUTURE ACCESS IS CONSTRUCTED AT FULLWOOD LANE. AT THE TIME THE PROPOSED COUNTRY PLACE DRIVE ACCESS IS CONSTRUCTED, THE EXISTING SOUTHERN COUNTRY PLACE DRIVE DRIVEWAY WILL BE REMOVED.
 4. ALL OTHER EXISTING DRIVEWAYS TO REMAIN.
 5. MUMC WILL NOT CONSTRUCT A DRIVEWAY OR PUBLIC STREET TO CONNECT SAGEMONT AVENUE TO SOUTH TRADE STREET.

APRIL 2020 - PROPOSED COLUMBIUM AS SHOWN WITH 78' x 40' EDGE OF FENCE/WALL - DOES NOT INCLUDE ANY EXTERIOR PLANTINGS OR EXTERIOR PAVING/PAVEMENTS. EXISTING SIDEWALK FROM EXISTING 25' PATH WITH 10' TYPICAL. ALL SHARED DRIVEWAYS ARE OPTIONAL. COLUMBIUM IS NOT AN INTERIOR SPACE - ONE FREE-STANDING BRICK WALL WITH DECORATIVE METAL FENCING BETWEEN BRICK WALLS.

EXISTING ZONING

PARCEL I: RI (CD) 13.99 ACRES
60,000 SQ. FT. EXISTING BUILDINGS + APPROXIMATELY 12,000 SQ. FT. FUTURE BUILDING AREA

PROPOSED ZONING

PARCEL II: R-15 1.8 ACRES

PARCELS I & II: RI (CD) 15.78 ACRES

PARKING SUMMARY

REQUIRED PARKING:

SANCTUARY SEATING 1148
PARKING REQUIRED 1148 / 4 = 287 SPACES

EXISTING PARKING PROVIDED:

382 SPACES + 20 HANDICAP SPACES = 402 TOTAL SPACES

REVISION	DATE	DESCRIPTION
1	2/14/21	REVISED PLAN AND NOTES FOR ZONING BOARD VARIANCE ORDER EDWIN
2	2/16/21	REVISED GENERAL NOTES AND ACCESS NOTES
3	2/16/21	REVISIONS

Preliminary Plat
Not For Recordation,
Conveyances or Sales

MCKIM & CREED

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Charlotte, North Carolina 28227
ANNON6AT
Internet Site: <http://www.mckimcreed.com>

MATTHEWS UNITED METHODIST CHURCH
ADDITION OF STEVENS PROPERTY

CONCEPTUAL SITE PLAN

DATE:	20 AUG 20
NSL PROJ. #	831
DRAWN	831
DESIGNED	831
CHECKED	831
PROJ. MGR.	831

SCALE:	HORIZONTAL: 1"=60'	VERTICAL: NA
PLAT NUMBER:	CPM1	SHEET NUMBER: 1
STATUS:	Preliminary Design Not Released For Construction	REVISION: 1